



The Town of Niagara-On-The-Lake

Telephone (905) 468-3266
Facsimile (905) 468-2959

1593 Four Mike Creek
Road
P.O. Box 190
Virgil, Ontario
L0S 1T0

Report: MHC-21-007 **Committee Date: March 09, 2021**

Report To: Municipal Heritage Committee
Subject: 135 Queen Street
Fulfilment of Conditions for Heritage Permit H-18-023

1. RECOMMENDATION

It is respectfully recommended that:

1.1 Condition #3 of Heritage Permit H-18-023 for 135 Queen Street, pertaining to final approval of the water fountain, be considered satisfied by the Municipal Heritage Committee, and the water fountain be designed substantially in accordance with the designs submitted in **Appendix A**; and

1.2 Condition #4 of Heritage Permit H-18-023 for 135 Queen Street, pertaining to the provision of additional trees on the Landscape Plan, be considered satisfied by the Municipal Heritage Committee as per the approved landscape plan in H-18-023 (see **Appendix B**).

2. PURPOSE / PROPOSAL

The purpose of this report is to provide a recommendation to the Municipal Heritage Committee (the "MHC") regarding the fulfillment of conditions for Heritage Permit H-18-023 for the commercial property at 135 Queen Street.

3. BACKGROUND

3.1 Site Description

The subject property municipally addressed as 135 Queen Street, is located on the north side of Queen Street within the commercial area of Old Town. The subject property is a deep L-shaped lot that is currently vacant.

The subject property previously contained a circa 1835 clapboard, Gothic Revival building, which was originally a dwelling and later converted to a commercial building. The 1835 structure was dismantled in 2015 as an engineer's report indicated that the post and beam structure had been substantially compromised with interior alterations. The post and beam structure has been stored off site and

is required to be reinstated within the future commercial building that will mimic the facade of the original 1835 building. The subject property also formally contained a large barn that was demolished in 2014.

3.2 Previous Applications

A Site Plan, Landscape Plan and Building Elevations were supported by the MHC and subsequently approved by Council in April 2015.

The proposed building was redesigned in 2018 in response to the uncovering of archaeological resources, which are to remain in situ on the subject property. Staff Report MHC-18-029 (attached as **Appendix C**) as reviewed on June 12, 2018 by the MHC, recommended approval of a revised Site Plan, Landscape Plan and Building Elevations. Staff and the MHC supported the revised plans subject to conditions. As a result, Heritage Permit H-18-023 was issued with the following conditions:

- 1. the door at the west building elevation of 135 Queen Street be removed, to the satisfaction of the Director of Community and Development Services;*
- 2. the final capping system design for 135 Queen Street be approved to the satisfaction of the Municipal Heritage Committee;*
- 3. the applicant returns to the Municipal Heritage Committee for final approval of the water fountain designs for 135 Queen Street; and*
- 4. the applicant provides for additional trees on the landscaping plan internal to the site, to the satisfaction of the Municipal Heritage Committee for 135 Queen Street.*
- 5. The Municipal Heritage Committee recommend that Council approve the revised building elevations for 135 Queen Street in accordance with the plans prepared by Nestico Architect Inc. dated April 27, 2018, and included in Appendix A to this report. AND that the doorcases on the new retail outlets be changed to a similar design which does not copy or mimic the doorcase of the original building to be re-erected.*
- 6. That construction not move forward for 135 Queen Street until an archaeological compliance Letter is received from the Ministry of Tourism, Culture and Sport.*

To date, conditions #2 and #5 have been fulfilled. The remaining conditions are outstanding. This report pertains to the fulfillment of conditions #3 and #4.

An application for Site Plan Amendment has also been submitted for the new building design and is currently being reviewed by Staff.

4. DISCUSSION / ANALYSIS

4.1 Ontario Heritage Act, R.S.O. 1990, c. O.18

The subject property is located within the business area of the Queen-Picton Heritage Conservation District (the "District"), designated under Part V of the *Ontario Heritage Act* (the "OHA"). Section 42 of the OHA states:

Erection, demolition, etc.

No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:

- 1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.*
- 2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.*
2005, c. 6, s. 32 (1).

The applicant has obtained a Council approved Heritage Permit that is subject to conditions, several of which are yet to be fulfilled.

4.2 Queen-Picton Heritage Conservation District Plan, 1986

Alterations to properties within the District are guided by the policies of the Queen-Picton Heritage Conservation District Plan (the "District Plan"). The District Plan does not provide policy direction on interior courtyard design or water fountains. The District Plan generally recommends that natural materials such as brick and stone are utilized. The proposed material for the water fountain is concrete. Staff have no concerns with the proposed material or design of the water fountain (as shown in **Appendix A**), which will not be visible from Queen Street, but will add visual interest to the subject property's amenity area.

Section 6A.3 of the District Plan provides policy guidance for the treescape in the District. Within the commercial area, the treescape is largely located in the public boulevard and in areas where buildings are set back further from the street. The policies of the District Plan recommend that the treescape be maintained, enhanced and expanded in a manner to compliment the goals of the District Plan. Specifically, the treescape is encouraged to screen parking lots and other discordant features.

Staff Report MHC-18-029 expressed support for the revised Landscape Plan, but recommended the applicant explore options to incorporate the planting of trees internal to the site, within the courtyard, without adversely impacting the archaeological resources on the subject property. The recommendation to provide additional trees on the Landscape Plan was supported by the MHC. While the applicant has considered planting trees in planters within the courtyard, it has been indicated by the applicant that it would be challenging to incorporate substantial tree cover within the courtyard which would have any substantial impact within the streetscape. Staff recommend that the MHC support the Landscape Plan appended to Heritage Permit H-18-023 without the provision of additional trees in the courtyard, and that Condition #4 be considered satisfied.

5. STRATEGIC PLAN

Not applicable.

6. OPTIONS

Not applicable.

7. FINANCIAL IMPLICATIONS

Not applicable.

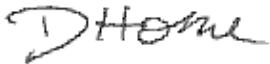
8. COMMUNICATIONS

The conditions of the Heritage Permit are required to be fulfilled prior to undertaking the approved works in Heritage Permit H-18-023.

9. CONCLUSION

Staff recommend that conditions #3 and #4 of Heritage Permit H-18-023 for 135 Queen Street pertaining to final approval of the water fountain and provision of additional trees on the Landscape Plan be supported by the Municipal Heritage Committee, and therefore be considered fulfilled.

Respectfully submitted,



**Denise Horne, MA, Diploma Heritage Conservation
Planner II**

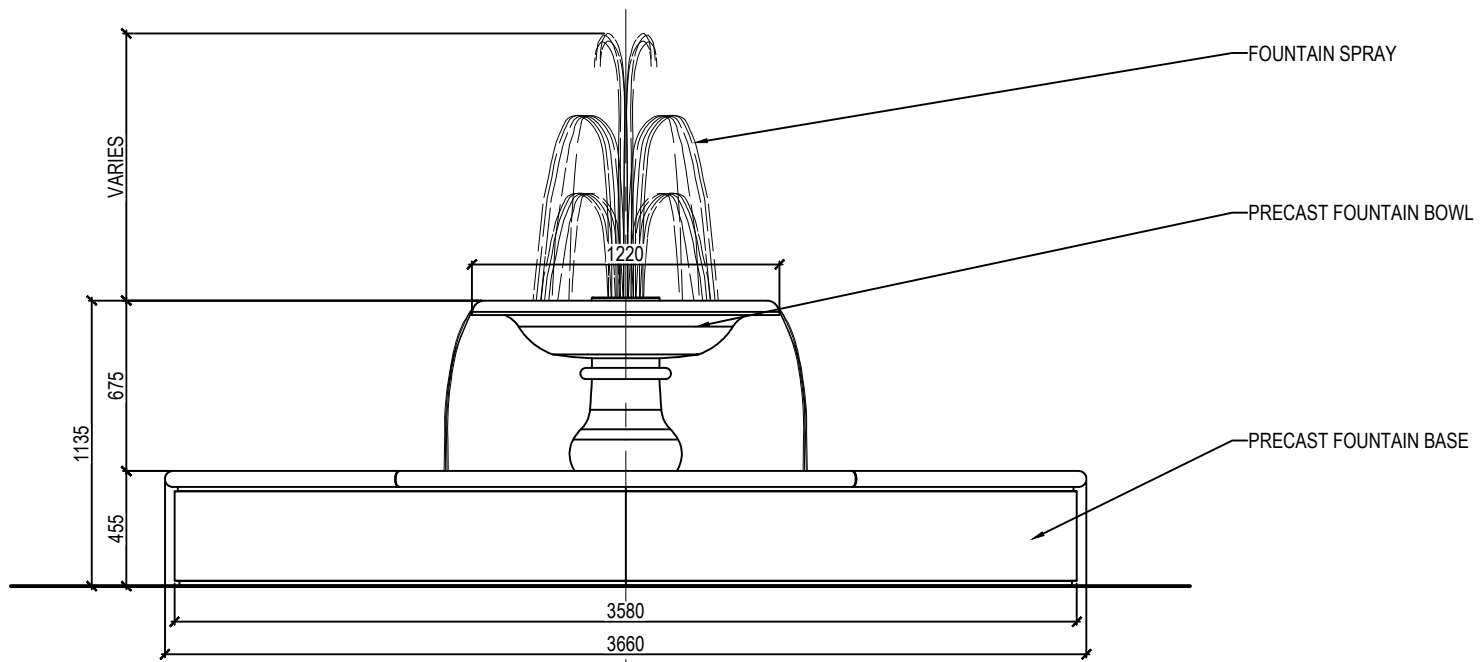


**Mark Iamarino, MCIP, RPP
Senior Planner**

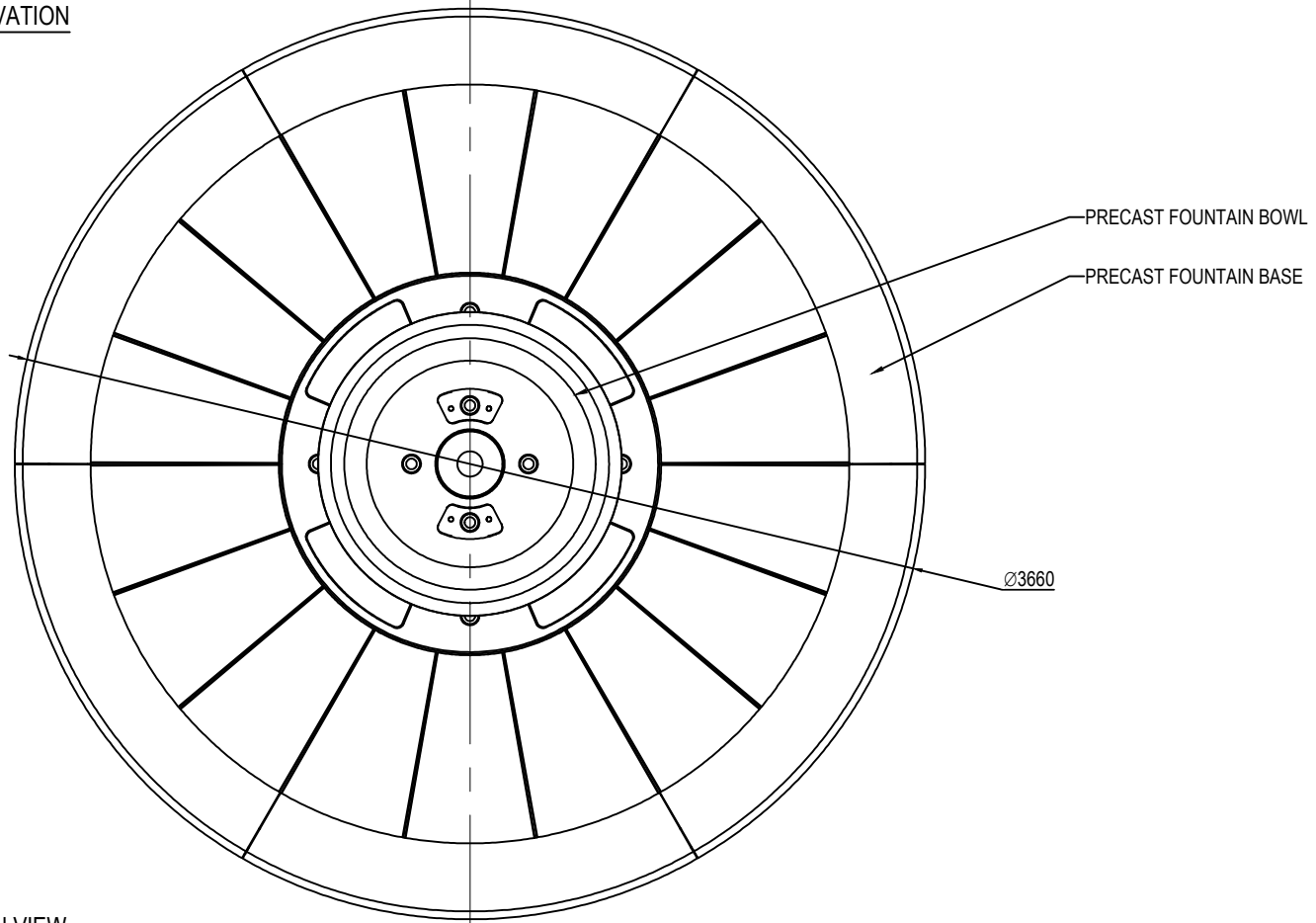
ATTACHMENTS



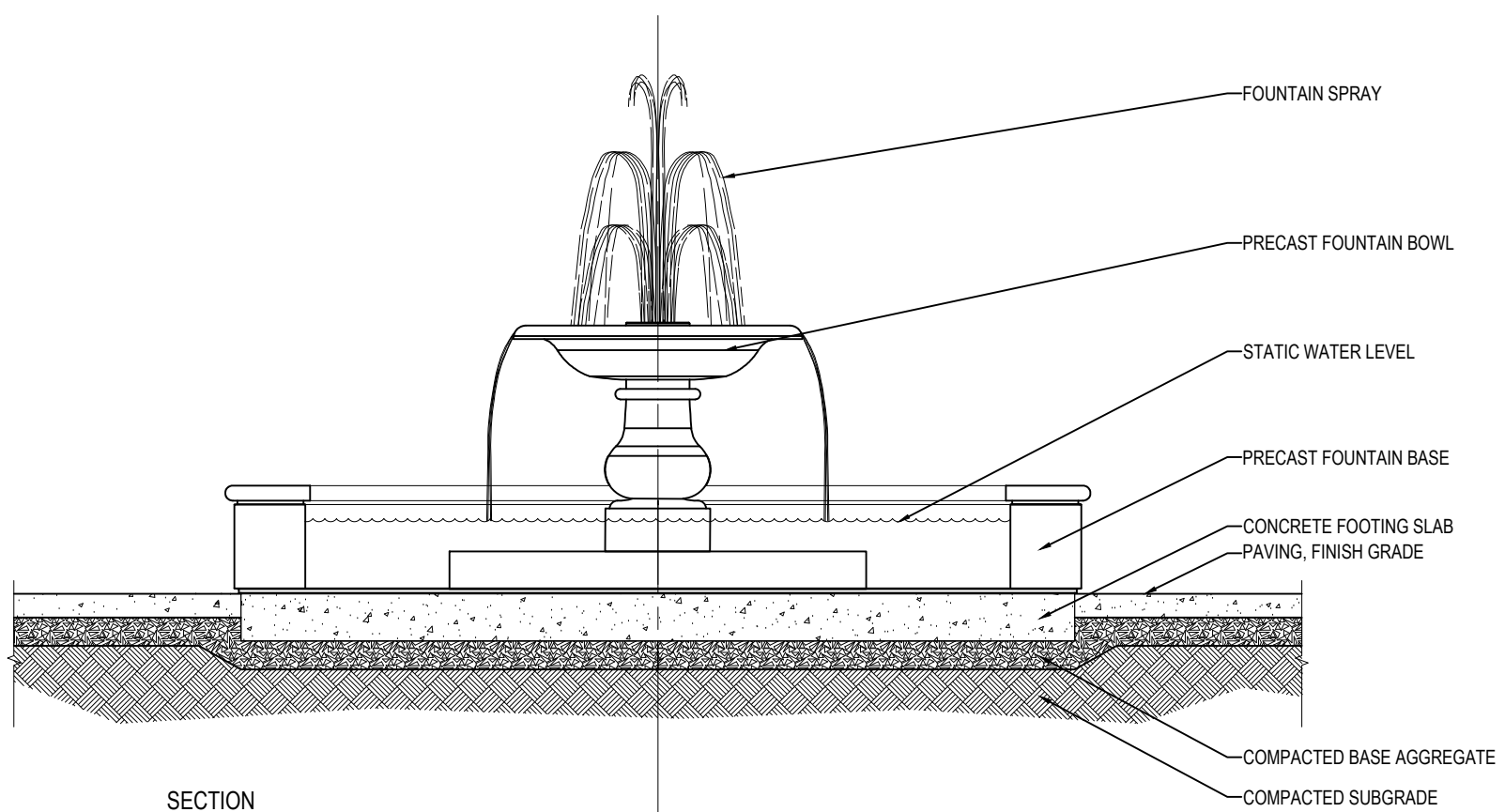
Appendix A - Fountain design.pdf Appendix B - Landscape Plan.pdf Appendix C - MHC-18-029.pdf



ELEVATION



PLAN VIEW



SECTION

6 PLAZA FOUNTAIN DETAILS

SCALE = 1:30

P-2014-14.180-57

Roxbury Collection

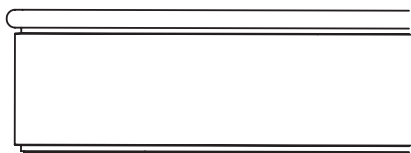
Nexgen Stonewear Turnkey Fountains

Nexgen Stonewear Fountains are pre-engineered complete solutions, providing a pre-designed water feature in any landscaped or architectural installation. They are delivered as a package to any job site (exterior or interior) including everything that is needed for installation.

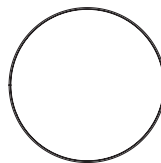


- Watertight, self-contained, monolithic construction
- Standard basin sizes range from 8' to 16'
- All fountains are available in any Tournesol Siteworks GFRC colors with Sandblast or Travertine textured finish
- Plumbing valves and water controls contained within the basin walls with LED lighting

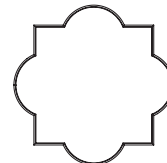
The Roxbury basin's rim lends it a slightly more classic feel, but the overall shape and absence of decoration will lend itself to modern installations as well. Available in Round and Quatrefoil configurations.



Roxbury Basin -
Decorative Profile



Round Configuration -
Available in 8', 10', 12'
& 16' in Diameter



Quatrefoil Configuration -
Available in 12' & 16' in
Diameter

Appendix A



Center Feature - Bowl Element

Each Roxbury style Basin is paired with a center feature. Seven different bowl options are available and are proportional to the size of the fountain. Center features are also available separately for custom or built-in-place fountain designs.

Each bowl element rests on a central foundation proportionally sized to the basin. Lighting is provided for each bowl, even in multi-tiered stacks. Plaza and Crystal bowls have a drip edge to ensure a smooth, laminar stream.

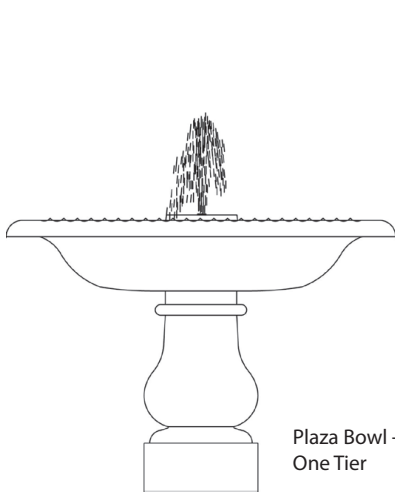
Plaza Bowl - Tall, elegant pedestal with distinctive Italianate style; adds an old-world touch to any fountain installation. Each plaza bowl (depending on size) is topped with a 1/2" aerating jet or 1" blossom jet.

Crystal Bowl - Rounded top lip and tapered shape bowl; adds a simple, modern elegance to fountain environments. Available in single, double or triple tier configurations. Single crystal bowl is topped with a 1" blossom jet, double and triple bowls feature a crystal finial bubbler.

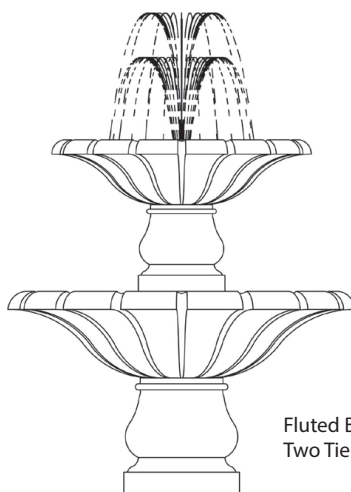
Triple bowl not available in 8' fountain sizes.

Fluted Bowl - Curved drop-lip bowl shape; expresses elegance in each of the long lines and decorative grooves of the bowl. Available in single, double or triple tier configurations. Single fluted bowl is topped with a 1" blossom jet, double and triple bowls (depending on size) feature a 1/2" aerating jet or 1" blossom jet.

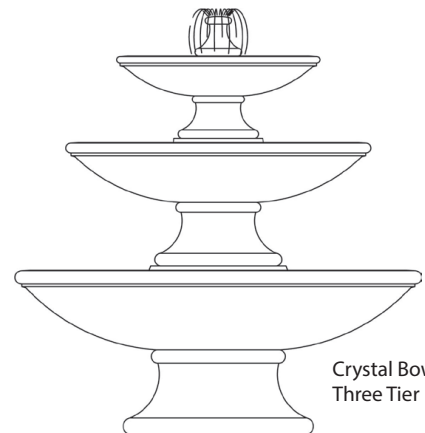
Triple bowl not available in 8' fountain sizes.



Plaza Bowl -
One Tier



Fluted Bowl -
Two Tier



Crystal Bowl -
Three Tier

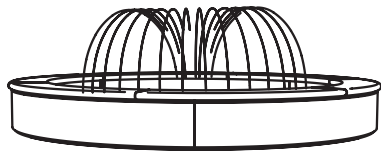
Appendix A

Center Feature - Water Features

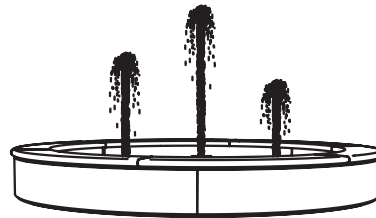
Each Water Feature emerges from a central foundation proportionally sized to the basin. The foundation contains the pumps, lighting, electrical, fixturing, and controls. Lighting from the foundation accentuates the dramatic play of water.

Spray Ring - Multiple spray nozzles direct graceful arch of water around 360° from a central point. Also available as a custom option jets from the perimeter of the fountain towards the center.

Column Jets - Three spray nozzles dramatically jet water vertically into the air and are adjustable to desired water heights. Jets are centered on the foundation. Also available as a custom option, floor jets within the fountain floor or additional numbers of jets on the foundation.



Spray Ring - Roxbury Basin



Column Jet - Roxbury Basin

Splash ratio is determined by the basic formula of distance/fall. **Distance** (D) is the measurement from the outer diameter of the center feature bowl to the inner edge of a fountain seat cap. **Fall** (F) is the measurement of the distance from where the water falls to the actual water in the bowl. For example, if D=24" and F=12," then it's 24/12 and the ratio is 2:1. Each fountain diameter and center feature combination will have a different splash ratio.

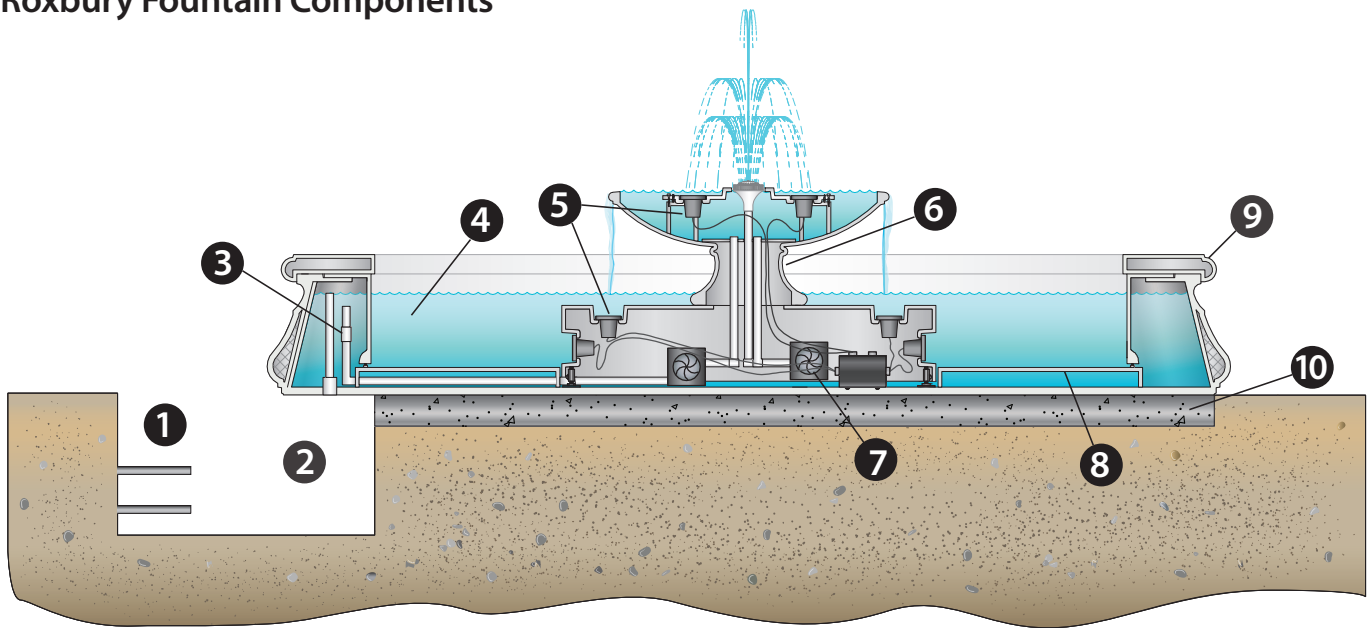
Roxbury Fountain Component Descriptions

| | |
|--------------------|--|
| Pumps | Submersible pumps installed inside fountain basin; Agency approved/listed. |
| Lights | Sealed submersible RGB LED lights with extra cord length to allow extraction from water for service; 14V; UL listed. |
| Controls | 125A outdoor Type 3R load center and 120V 15A programmable controller and transformer; GFCI protection for each component; UL, ETL, TUV, etc. listed. |
| Water Features | Adjustable flow to separate elements in water feature; built-in chemical feeder using chlorine or bromine tablets. |
| Plumbing | High level overflow drain; manual main drain; manual water fill; automatic water level control; feature control valves. |
| Documentation | Operation manual; illustrated installation instructions; specific site plan specifications; plumbing and electrical schematics; component data sheets. |
| Placement/Hoisting | Easy to move with removable "lifting eyes." |
| Composite Stone | Proprietary compound of graded stone, cement and alkaline-resistant glass fiber. |



Appendix A

Roxbury Fountain Components



1. Site utilities (by others)
2. Utility (plumbing, electrical, drainage) connection area
3. Valve to control each element in water feature
4. Utility access panels
5. RGB controllable LED Lights in niche mount
6. Center feature and foundation
7. Direct drive submersible pumps
8. Floor plates
9. GFRC Fountain Cap and Basin wall
10. Concrete slab foundation (by others)

*Note: Timer controls away at site breaker panel.



Appendix A



Roxbury Collection - Round & Quatrefoil

All fountains include the following: Timers for pump lights, Individual control valves for each feature, Main drain, Utility drain, Manual fill, Auto water level control, and Chlorinator.

| Part. No. | Base Size | Bowl / Center Feature | Additional Information/Elements | Splash Ratio |
|-----------------|-----------------|---|--|--------------|
| RD08-BASIN | 8' Dia., Round | Basin Only | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Jet | N/A |
| RD08-CJ36NG | 8' Dia., Round | 36" Column Jet | 1 Submersible Pump, 7 x 14V/6W RGB LED Lights, 3 Column Jets | N/A |
| RD08-SR36NG | 8' Dia., Round | 36" Spray Ring | 1 Submersible Pump, 8 x 14V/6W RGB LED Lights, 40 x Smoothbore 1/8" Jets | N/A |
| RD08-PA30NG | 8' Dia., Round | 30" Plaza Bowl w/Aerating Jet | 2 Submersible Pumps, 10 x 14V/6W RGB LED 1 Blossom 1" Jet | 1.58:1 |
| RD08-CA30NG | 8' Dia., Round | 30" Crystal Bowl w/Blossom Jet | 2 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 2.3:1 |
| RD08-CA3018NG | 8' Dia., Round | 30" + 18" Crystal Bowls w/Finial | 2 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | 2.3:1 |
| RD08-FA30NG | 8' Dia., Round | 30" Fluted Bowl w/Blossom Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.55:1 |
| RD08-FA3018NG | 8' Dia., Round | 30" + 18" Fluted Bowls w/Aerating Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | 1.55:1 |
| RD10-BASIN | 10' Dia., Round | Basin Only | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Jet | N/A |
| RD10-CJ36NG | 10' Dia., Round | 36" Column Jet | 1 Submersible Pump, 7 x 14V/6W RGB LED Lights, 3 Column Jets | N/A |
| RD10-SR36NG | 10' Dia., Round | 36" Spray Ring | 1 Submersible Pump, 8 x 14V/6W RGB LED Lights, 40 x Smoothbore 1/8" Jets | N/A |
| RD10-PA36NG | 10' Dia., Round | 36" Plaza Bowl w/Aerating Jet | 2 Submersible Pumps, 11 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.6:1 |
| RD10-CA36NG | 10' Dia., Round | 36" Crystal Bowl w/Blossom Jet | 2 Submersible Pumps, 11 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 2.55:1 |
| RD10-CA3624NG | 10' Dia., Round | 36" +24" Crystal Bowls w/Finial | 2 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | 2.55:1 |
| RD10-CA362418NG | 10' Dia., Round | 36" +24" +18" Crystal Bowls w/Finial | 2 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | 2.55:1 |
| RD10-FA36NG | 10' Dia., Round | 36" Fluted Bowl w/Blossom Jet | 1 Submersible Pump, 11 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.66:1 |
| RD10-FA3624NG | 10' Dia., Round | 36" + 24" Fluted Bowls w/Aerating Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | 1.66:1 |
| RD10-FA362418NG | 10' Dia., Round | 36" + 24" + 18" Fluted Bowls w/Aerating Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | 1.66:1 |
| RD10-FA48NG | 10' Dia., Round | 48" Fluted Bowl w/Blossom Jet | 1 Submersible Pump, 11 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.26:1 |
| RD10-FA4836NG | 10' Dia., Round | 48" + 36" Fluted Bowls w/Aerating Jet | 1 Submersible Pump, 12 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | 1.26:1 |
| RD10-FA483624NG | 10' Dia., Round | 48" + 36" + 24" Fluted Bowls w/Aerating Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | 1.26:1 |
| RD12-BASIN | 12' Dia., Round | Basin Only | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Jet | N/A |
| RD12-CJ48NG | 12' Dia., Round | 48" Column Jet | 1 Submersible Pump, 7 x 14V/6W RGB LED Lights, 3 Column Jets | N/A |
| RD12-SR48NG | 12' Dia., Round | 48" Spray Ring | 1 Submersible Pump, 8 x 14V/6W RGB LED Lights, 46 Smoothbore 1/8" Jets | N/A |
| RD12-PA48NG | 12' Dia., Round | 48" Plaza Bowl w/Aerating Jet | 3 Submersible Pumps, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.21:1 |
| RD12-CA48NG | 12' Dia., Round | 48" Crystal Bowl w/Blossom Jet | 3 Submersible Pumps, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 2.23:1 |
| RD12-CA4836NG | 12' Dia., Round | 48" +36" Crystal Bowls w/Finial | 3 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | 2.23:1 |
| RD12-CA483624NG | 12' Dia., Round | 48" +36" + 24" Crystal Bowls w/Finial | 3 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | 2.23:1 |
| RD12-FA48NG | 12' Dia., Round | 48" Fluted Bowl | 1 Submersible Pump, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.5:1 |
| RD12-FA4836NG | 12' Dia., Round | 48" + 36" Fluted Bowls w/Aerating Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | 1.5:1 |
| RD12-FA483624NG | 12' Dia., Round | 48" + 36" + 24" Fluted Bowls w/Aerating Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | 1.5:1 |

Appendix A



Roxbury Collection - Round & Quatrefoil

All fountains include the following: Timers for pump lights, Individual control valves for each feature, Main drain, Utility drain, Manual fill, Auto water level control, and Chlorinator.

| Part. No. | Base Size | Bowl / Center Feature | Additional Information/Elements | Splash Ratio |
|-----------------|----------------------|--|---|--------------|
| RQ12-BASIN | 12' Dia., Quatrefoil | Basin Only | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Jet | N/A |
| RQ12-CJ36NG | 12' Dia., Quatrefoil | 36" Column Jet | 1 Submersible Pump, 7 x 14V/6W RGB LED Lights, 3 Column Jets | N/A |
| RQ12-SR36NG | 12' Dia., Quatrefoil | 36" Spray Ring | 1 Submersible Pump, 8 x 14V/6W RGB LED Lights, 40 Smoothbore 1/8" Jets | N/A |
| RQ12-PA36NG | 12' Dia., Quatrefoil | 36" Plaza Bowl w/Frothy Jet | 2 Submersible Pumps, 11 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | N/A |
| RQ12-CA36NG | 12' Dia., Quatrefoil | 36" Crystal Bowl w/Tulip Jet | 2 Submersible Pumps, 11 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | N/A |
| RQ12-CA3624NG | 12' Dia., Quatrefoil | 36" + 24" Crystal Bowls w/Finial | 2 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | N/A |
| RQ12-CA362418NG | 12' Dia., Quatrefoil | 36" + 24" + 18" Crystal Bowls w/Finial | 2 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | N/A |
| RQ12-FA36NG | 12' Dia., Quatrefoil | 36" Fluted Bowl w/Tulip Jet | 1 Submersible Pump, 11 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | N/A |
| RQ12-FA3624NG | 12' Dia., Quatrefoil | 36" + 24" Fluted Bowls w/Tulip Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | N/A |
| RQ12-FA362418NG | 12' Dia., Quatrefoil | 36" + 24" + 18" Fluted Bowls w/Frothy Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | N/A |
| RD16-BASIN | 16' Dia., Round | Basin Only | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Jet | N/A |
| RD16-CJ60NG | 16' Dia., Round | 60" Column Jets | 2 Submersible Pumps, 7 x 14V/6W RGB LED Lights, 3 Column Jets | N/A |
| RD16-SR60NG | 16' Dia., Round | 60" Spray Ring | 2 Submersible Pumps, 8 x 14V/6W RGB LED Lights, 59 Smoothbore 1/8" Jets | N/A |
| RD16-PA60NG | 16' Dia., Round | 60" Plaza Bowl w/Blossom Jet | 4 Submersible Pumps, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.71:1 |
| RD16-CA60NG | 16' Dia., Round | 60" Crystal Bowl w/Blossom Jet | 4 Submersible Pumps, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 2.26:1 |
| RD16-CA6048NG | 16' Dia., Round | 60" + 48" Crystal Bowls w/Finial | 4 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | 2.26:1 |
| RD16-CA604836NG | 16' Dia., Round | 60" + 48" + 36" Crystal Bowls w/Finial | 4 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | 2.26:1 |
| RD16-FA60 | 16' Dia., Round | 60" Fluted Bowl w/Blossom Jet | 1 Submersible Pump, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.74:1 |
| RD16-FA6048 | 16' Dia., Round | 60" + 48" Fluted Bowls w/Blossom Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.74:1 |
| RD16-FA604836 | 16' Dia., Round | 60" + 48" + 36" Fluted Bowls w/Blossom Jet | 2 Submersible Pumps, 11 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | 1.74:1 |
| RQ16-BASIN | 16' Dia., Quatrefoil | Basin Only | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Jet | N/A |
| RQ16-CJ48 | 16' Dia., Quatrefoil | 48" Column Jet | 1 Submersible Pump, 7 x 14V/6W RGB LED Lights, 3 Column Jets | N/A |
| RQ16-SR48 | 16' Dia., Quatrefoil | 48" Spray Ring | 1 Submersible Pump, 8 x 14V/6W RGB LED Lights, 46 Smoothbore 1/8" Jets | N/A |
| RQ16-PA48 | 16' Dia., Quatrefoil | 48" Plaza Bowl w/Frothy Jet | 3 Submersible Pumps, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | N/A |
| RQ16-CA48 | 16' Dia., Quatrefoil | 48" Crystal Bowl w/Tulip Jet | 3 Submersible Pumps, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | N/A |
| RQ16-CA4836 | 16' Dia., Quatrefoil | 48" + 36" Crystal Bowls w/Finial | 3 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | N/A |
| RQ16-CA483624 | 16' Dia., Quatrefoil | 48" + 36" + 24" Crystal Bowls w/Finial | 3 Submersible Pumps, 10 x 14V/6W RGB LED Lights, 1 Finial Bubbler | N/A |
| RQ16-FA48 | 16' Dia., Quatrefoil | 48" Fluted Bowl w/Tulip Jet | 1 Submersible Pump, 12 x 14V/6W RGB LED Lights, 1 Blossom 1" Jet | N/A |
| RQ16-FA4836 | 16' Dia., Quatrefoil | 48" + 36" Fluted Bowls w/Tulip Jet | 1 Submersible Pump, 10 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | N/A |
| RQ16-FA483624 | 16' Dia., Quatrefoil | 48" + 36" + 24" Fluted Bowls w/Frothy Jet | 1 Submersible Pump, 11 x 14V/6W RGB LED Lights, 1 Aerating 1/2" Jet | N/A |

Appendix B

GENERAL NOTES

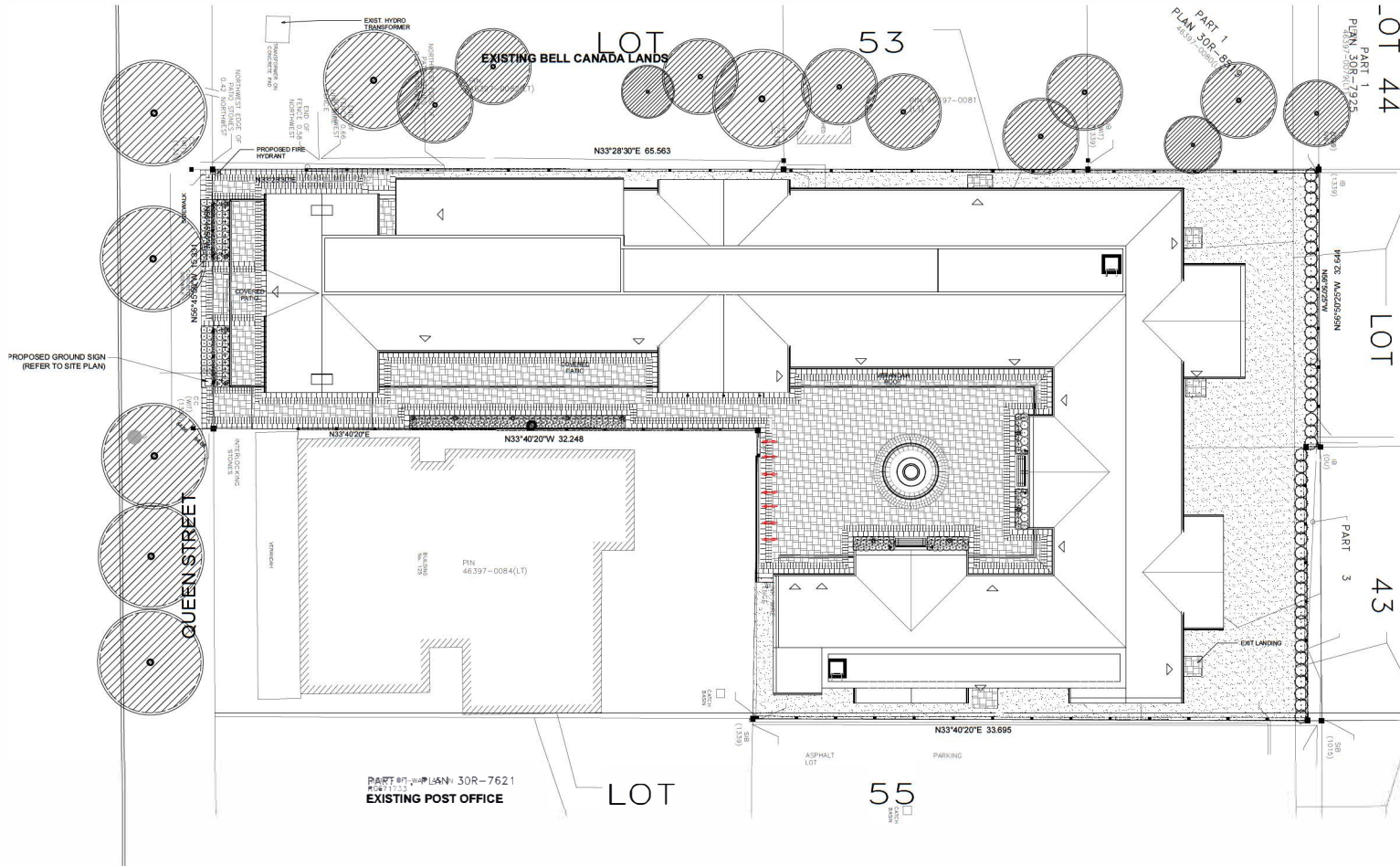
1. ALL DRAWINGS ARE IN METRIC SCALE. DIMENSIONS UNDER 1MM ARE SHOWN AS A WHOLE NUMBER. ALL DIMENSIONS ARE GIVEN TO FACE OF CURB AND FACE OF FOUNDATION AND SITE WALLS, UNLESS OTHERWISE INDICATED.
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PROVINCIAL, LOCAL, MUNICIPAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO PROVINCIAL AND LOCAL MUNICIPAL STANDARDS AND CODES THAT PERTAIN TO THE SITE UNDER CONSTRUCTION.
3. CONTRACTOR SHALL ARRANGE FOR UTILITY STAKING PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO CONSTRUCTION TO BECOME FAMILIAR WITH EXISTING CONDITIONS. IF ANY DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS, CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
4. EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATION SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
5. CONTRACTOR SHALL PROVIDE: GRADING LAYOUT, GRADING STAKING AND SURVEYING REQUIRED FOR CONSTRUCTION. REFER TO EXISTING SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION.
6. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.

7. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE.
8. PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREAS AND OFF NEWLY PAVED AREAS BEFORE ASPHALT OR CONCRETE HAS CURED. DO NOT LEAVE ANY HOLES UNCOVERED.
9. KEEP AREAS OUTSIDE OF CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.
10. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED MATERIALS FOR APPROVAL PRIOR TO PLACING ORDERS.
11. ALL WORK SHALL BE INSPECTED BY LANDSCAPE ARCHITECT PRIOR TO PAYMENT APPROVAL.
12. CONTRACTOR SHALL PROVIDE MARKED LIP RED LINE PLANS SHOWING AS-BUILT SITE CONDITIONS TO THE LANDSCAPE ARCHITECT PRIOR TO OBTAINING APPROVAL OF SUBSTANTIAL COMPLETION.
13. AT ALL TIMES, EXISTING SIDEWALKS OR CURBS ARE TO REMAIN. NEW CONCRETE IS TO BE PLACED, SCALOT AND REMOVE EXISTING CONCRETE BACK TO THE NEAREST CONCRETE JOINT TO PROVIDE A SMOOTH TRANSITION TO THE NEW CONCRETE.
14. INSTALL SOLUTION MONITORS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE PAVEMENT.

LANDSCAPE NOTES

1. ALL PLANTING AND INSTALLATION IN RIGHT OF WAY SHALL MEET LOCAL, MUNICIPAL AND AREAS AND SPECIFIC TOWNSHIP REQUIREMENTS.
2. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE DAMAGE TO COMPLETED LAWNS AND PLANT MATERIAL INSTALLATION.
3. IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED IN THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.
4. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO ANY WORK, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
5. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING OF SUBGRADE BELOW LAWN AND LANDSCAPE AREAS.
6. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SPREADING TOPSOIL, FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
7. LANDSCAPE CONTRACTOR SHALL PROVIDE SOIL TEST ANALYSIS FOR ALL SOIL USED ON PROJECT. COPIES OF SOIL ANALYSIS SHALL BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO ANY LANDSCAPE CONSTRUCTION.
8. PRIOR TO SPREADING TOPSOIL, LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BY EARTHWORK CONTRACTOR BEFORE PLACING ANY TOPSOIL.
9. BEFORE PLANT MATERIAL INSTALLATION BEGINS, STAKE LOCATIONS OF NEW PLANT MATERIAL AND NOTIFY LANDSCAPE ARCHITECT FOR APPROVAL. NOTIFY LANDSCAPE ARCHITECT ONE WEEK MINIMUM PRIOR TO TENTATIVE DATE OF STAKING.
10. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR SOIL GRADE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.

11. ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
12. ALL PLANT MATERIAL SHALL BE GROWN IN CLAY SOIL. ALL SHRUBS SHALL BE GROWN IN FIRE POT CONTAINERS. ALL TREES SHALL BE NURSERY GROWN AND TRANSPLANTED USING THE BALL AND BURL AP METHOD.
13. ALL SHRUBS AND CONIFEROUS PLANTING SHALL BE INSTALLED IN CONTINUOUS PLANTING BEDS.
14. ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPACED EDGE BORDER BORDER SHALL BE CUT DOWN AT A 45° ANGLE, SO THERE IS A CLEAR AND WELL DEFINED SEPARATION BETWEEN THE PLANTING BEDS AND SOCCED AREAS.
15. ALL SHRUB BED AREAS SHALL HAVE A MINIMUM 80MM HICK LAYER OF LANDSCAPE MULCH.
16. PRE-EMERGENT HERBICIDES SHALL BE USED UNDER MULCH IN ALL LARGE BED AREAS.
17. WHERE PROJECT SITE IS TO BE SOCCED, CONTRACTOR SHALL PROVIDE NEW TOPSOIL AND SOIL IN ANY ADJACENT RIGHT OF WAY FROM PROPERTY LINE TO BACK OF MUNICIPAL CURB.
18. CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INACT, TOP DRESSING WITH SOIL, SCARIFYING AND SEEDING TO FORM A SMOOTH FULL, EVEN LAWN, FREE OF BARE SPOTS, INERTATIONS, AND WEEDS.
19. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR TO ENSURE PROPER WATERING OF PLANTED AND SEEDING AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS BETWEEN PLANTS AND SPRINKLER HEADS AND LINES.



SOLMAR
DEVELOPMENT CORP.

CLIENT: _____

NOT FOR CONSTRUCTION

DRAWINGS LIST

| | | | |
|------|------------------------|------|----|
| 1306 | COVER SHEET | DATE | BY |
| 1307 | PLANTING PLAN | DATE | BY |
| 1308 | DETAIL: REFERENCE PLAN | DATE | BY |
| 1309 | DETAIL: PLANTING | DATE | BY |
| 1310 | DETAIL: PLANTING | DATE | BY |
| 1311 | DETAIL: LAYOUT | DATE | BY |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TERRAPLAN AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE TURNED IN AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN TURNED BY THE LANDSCAPE ARCHITECT.

Name: _____ Date: _____

2100 Parkview, Suite 102
 Toronto, Ontario M6E 2E5
 Canada Tel: (416) 593-4911
 Fax: (416) 593-4912

PROPOSED COMMERCIAL DEVELOPMENT
155 QUEEN STREET
NAGARA ON THE LAKE
ONTARIO

INCLUDES
LANDSCAPE PLAN - COVER SHEET

COPIES: _____
 DATE: _____
 SCALE: 1:125
 DATE: SEPT 2014
 PROJECT NO.: 14-100

OALA
 ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS

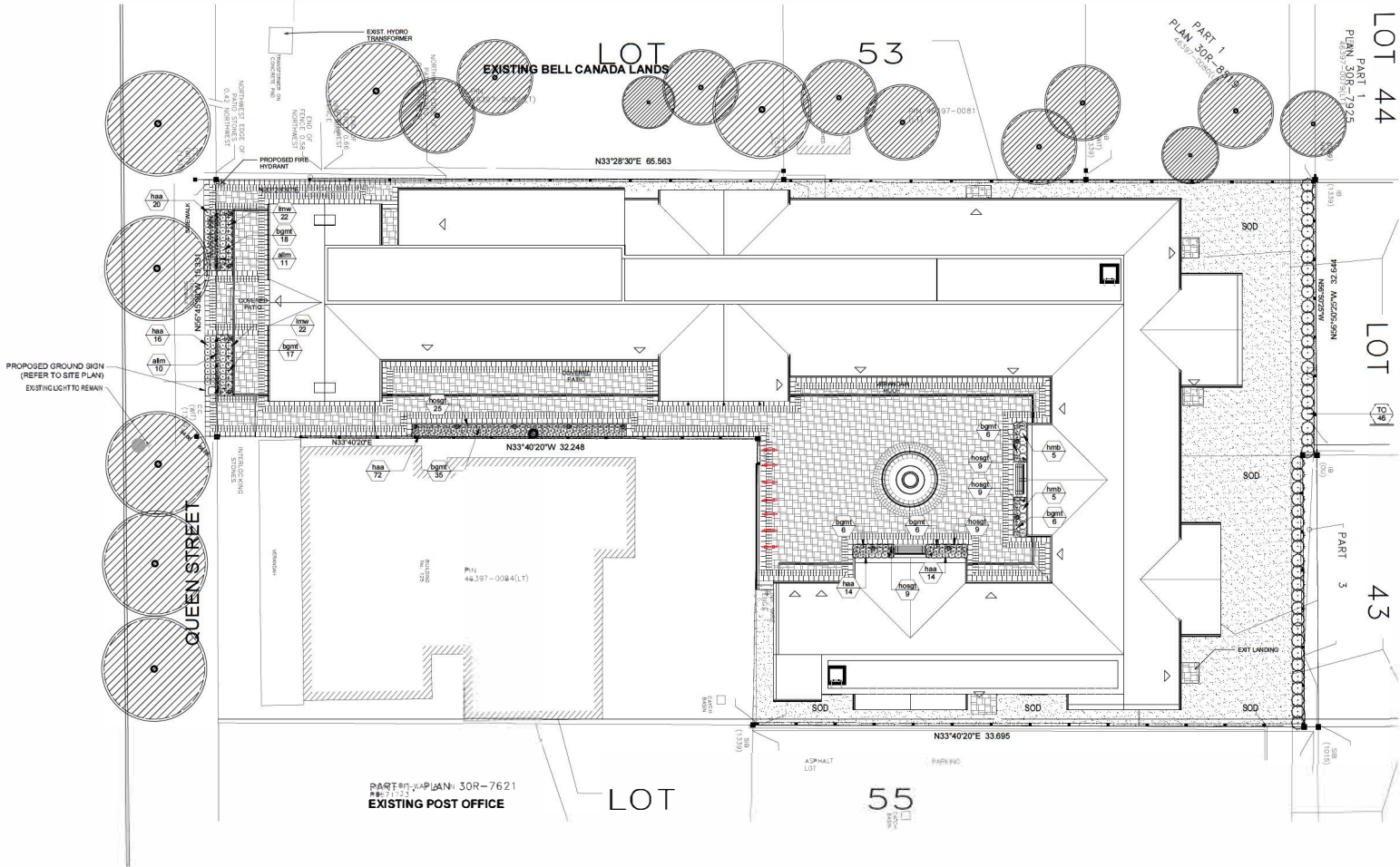
L-100

April 30, 2015

Appendix B

PLANT SCHEDULE QUEEN STREET

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | DATE | SIZE | SPACING | REMARKS |
|--------|--------------------|-----|--------------------------------------|----------------------------|------|-------|---------|---------|
| ○ | TO | 46 | Tilia cordata | White Cedar | 18.5 | 20 FT | | Native |
| ⊖ | HAZ | 44 | Salix viminalis | Willow | 100 | 10 FT | 1.5m | |
| ⊖ | HAZ | 140 | Hydrangea arborescens 'Annabelle' | Annabelle Smooth Hydrangea | 100 | 10 FT | 1.5m | |
| ○ | HAZ | 10 | Hydrangea macrophylla 'Bathurst Red' | Endless Summer | 100 | 10 FT | 1.5m | |
| ⊖ | ANNUALS/PERENNIALS | 21 | Rhus glabra | Summit Red | 1.5m | 1.5m | 1.5m | |
| ⊖ | GRASS | 11 | Poa annua | Common Grass | 1.5m | 1.5m | 1.5m | |
| ⊖ | GRASS | 41 | Lolium perenne | Perennial Ryegrass | 2.0m | 2.0m | 2.0m | |



CLIENT
NOT FOR CONSTRUCTION

| NO. | REVISION | DATE | BY |
|-----|--------------------------------|------------|----|
| 01 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CS |
| 02 | REVISED PER TOWN COMMENTS | 2018-03-30 | CS |
| 03 | REVISED PER TOWN COMMENTS | 2018-03-17 | CS |
| 04 | REVISED PER TOWN COMMENTS | 2018-03-19 | CS |
| 05 | FOR TOWN REVIEW | 2018-03-01 | CS |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS AND SPACING SHALL BE THE PROPERTY OF THE ARCHITECT AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE TURNED IN AT THE COMPLETION OF THE WORK. ALL DIMENSIONS TO BE USED FOR CONSTRUCTION ONLY WHEN DIMENSIONS BY THE LANDSCAPE ARCHITECT.

2100 PINE AVE. SUITE 102
 TORONTO, ONTARIO M6C 2E2
 Canada Tel: (416) 593-4911
 Fax: (416) 593-4911

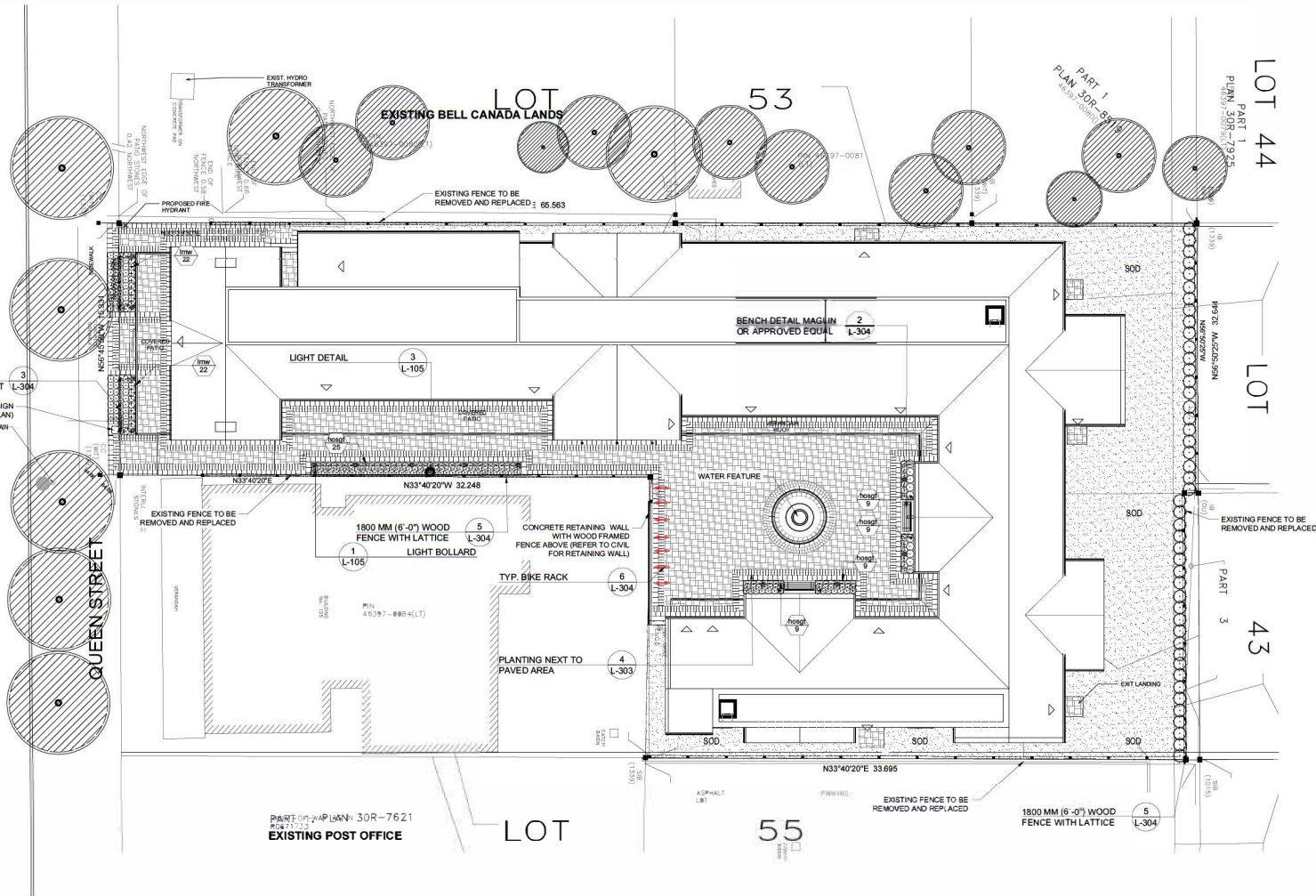
PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NAGARA ON THE LAKE
ONTARIO

PROJECT
PLANTING PLAN

DRAWING NO. 1125
 DATE: 2017.03.14
 PROJECT NO. 14-189

L-101
 April 30, 2015

Appendix B



CLIENT

NOT FOR CONSTRUCTION

| | | | |
|----|---------------------------------|------------|-----|
| 08 | REVISED FOR SITE PLAN AMENDMENT | 2017-11-16 | CSB |
| 09 | REVISED FOR TOWN COMMENTS | 2018-03-30 | JS |
| 10 | REVISED FOR TOWN COMMENTS | 2018-03-17 | JS |
| 11 | REVISED FOR TOWN COMMENTS | 2018-03-19 | JS |
| 12 | FOR TOWN REVIEW | 2018-06-10 | JS |
| 13 | ISSUED | 2018-06-10 | JS |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF TERRAPLAN AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE TURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS TO BE USED FOR CONSTRUCTION ONLY WHEN TURNED BY THE LANDSCAPE ARCHITECT.

DATE: 10/1/2018

tetraplan LANDSCAPE ARCHITECTS
 25 Dundas Street West, Suite 102
 Toronto, Ontario, M5G 1R2, Canada
 Tel: 416-593-4911 Fax: 416-593-4912
 Email: info@tetraplan.ca Web: www.tetraplan.ca

PROPOSED COMMERCIAL DEVELOPMENT
 136 QUEEN STREET
 NIAGARA ON THE LAKE
 ONTARIO

PROJECT: DETAIL REFERENCE PLAN

| | |
|--------------|------------|
| DATE: | 10/1/2018 |
| SCALE: | 1:125 |
| DATE: | 2017-03-14 |
| PROJECT NO.: | 18-109 |



L-200 April 30, 2015

Appendix B

NOT FOR CONSTRUCTION

LANDSCAPE SPECIFICATIONS
 CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FOR STAKE OUTS PRIOR TO ANY EXCAVATION OR PLANTING.
 SOIL/GRASS/ROCK/ROOTS
 REMOVE GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERNS AS INDICATED ON DRAWINGS. SLOPE SHADDOUTY ALL TOPS AND SIDES OF SLOPES. CONTACT ALL AREAS TO SOIL STANDARD PRACTICE DEVIETY UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS DETAILD.

- Soil:**
 THE SOIL WHICH CONFORMS WITH THE SPECIFICATIONS OF THE MURRAY'S SOIL GROWERS ASSOCIATION OF ONTARIO. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 100MM (4") OF TOPSOIL AND SHALL BE SOILED WITH A BLEND/RAAS (100:000:000). NO 500:500 SLOPES ARE TO EXCEED 3:1. SLOPE IN EXCESS OF 3:1 TO BE REZEED.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING ALL SLOPES AND REZEED AREAS AT LEAST TWO (2) TIMES BEFORE FINAL INSPECTION FOR ACCEPTANCE OF THE LANDSCAPE WORK.
- Soil Fertilization:**
 APPLY THE FOLLOWING MINERAL FERTILIZER UNLESS SOILS TESTS SHOW OTHER RECOMMENDATIONS FOR NITROGEN AND POTASH:
 1. SOOED AREAS: INITIAL PLANTING: 20% NITROGEN, 30% PHOSPHORUS AND 15% POTASH (20-30-15) AT THE RATE OF 4.5 KG PER 100 SQM (10 LBS OVER 1000 SQ FT). ON-GOING TURF MAINTENANCE: APPLY 10-30-10 (SUMMER AND FALL) APPLY AFTER THE 1ST MOW.
 2. PLANTING BEDS: 7% NITROGEN, 7% PHOSPHORUS AND 7% POTASH (7-7-7) AT THE RATE OF 40 GRAMS (1.4 OZ) FOR EVERY SQUARE METRE OF TOPSOIL.
- Plant Material:**
 ALL PLANT BEDS TO BE CONTINUOUS EXCAVATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS. MIN 600MM (24"). BACK FILL ALL PLANTING BEDS WITH A SOIL MATURE CONSISTING OF 50% (5) PARTS OF SAND/LOAM, ONE (1) PART OF FINELY TILLWEVED, BEST MOSS, TWO (2) PARTS OF WELL-SIFTED MANURE AND THE MINERAL FERTILIZER AS SPECIFED ABOVE. ALSO ADD 58 KILOS BIONEVAL/CUBIC METERS OF PLANTING SOIL (1.5 CUBIC YARDS). PREPARE THE PLANTING BEDS FOR PLANTING BEFORE THE DELIVERY OF PLANT MATERIAL TO THE SITE. IF THE CLAY OR MET IN NATURE, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS OF A SUITABLE SOIL MIXTURE OR DRAINAGE DETAIL. FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.
 ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADING ASSOCIATION (LOHTA) FOR SIZE AND SPECIES.
 ALL SHRUBS AND TREE MATERIAL SHALL BE CONTAINER GROWN, POTTED, 5/8" OR 6/8" UNLESS OTHERWISE NOTED. SHARER ROOT PLANTING SHALL BE ACCEPTABLE FOR CERTAIN SPECIES DURING EARLY SPRING OF LATE FALL PLANTING SEASONS. CONTRACTOR SHALL MAKE REQUESTS FOR ROOT CONDITION SUBSTITUTION IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. ALL PLANT MATERIAL TO BE CLAY GROWN STOCK UNLESS OTHERWISE NOTED.

SOOED AREAS AND PLANTING BEDS
 THE CONTRACTOR SHALL INSTALL NEW SBI AND NEW TOPSOIL AS PER SPECIFICATIONS AND GENERAL NOTES THROUGHOUT THE SITE AS DEEMED NECESSARY. ALL SBI SHALL EXTEND THROUGH THE MUNICIPAL BOUNDARY TO THE REAR OF THE MUNICIPAL COURTS.
 ALL PLANTING BEDS THAT ARE SURROUNDED BY SOIL SHALL BE CUT AND EASED AT A 5° ANGLE. SO THIS IS A CLEAR AND WELL-DEFINED SEPARATION BETWEEN THE PLANTING BEDS AND SOOED AREAS.

PLANT MATERIAL INSTALLATION

ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED AS DETAILD AND AS SHOWN ON THE PLANTING PLAN. ALL BEDS TO BE REZEED AND SOIL SHALL EXTEND THROUGH THE MUNICIPAL BOUNDARY TO THE REAR OF THE MUNICIPAL COURTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING ALL SLOPES AND REZEED AREAS AT LEAST TWO (2) TIMES BEFORE FINAL INSPECTION FOR ACCEPTANCE OF THE LANDSCAPE WORK.
 THE INDIVIDUAL PLANT GROWING TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SURPASSES THE ESTIMATED QUANTITY ON THE MASTER PLANT LIST. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING BEFORE COMMENCING ANY WORK. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF DISCREPANCIES.
 MULCH - SHROUDED FINE MULCH BY "SOIL BANK" OR APPROVED EQUAL LANDSCAPE ARCHITECT TO APPROVE MULCH MIXTURE INSTALLATION. GENERAL MAINTENANCE.
 PREFERRED MAINTENANCE PROCEDURES ARE TO BE FULLY ADMITTED FOR ALL NEWLY CONSTRUCTED LANDSCAPE WORK. IN ACCORDANCE WITH LANDSCAPE ONTARIO SPECIFICATIONS (SECTION 6 - MAINTENANCE WORK). THIS SHALL APPLY ONLY DURING THE CONSTRUCTION PERIOD, UNLESS OTHERWISE SPECIFIED. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SOIL AND PLANTING UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.
 ROOT PROTECTION - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FOR WINTER PROTECTION AND FROM ROVET INJURY FOR THE DURATION OF THE GUARANTEED PERIOD. PROTECTIVE GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES GUARDS TO BE 100MM DIA. PVC PIPE OR AS MINORIAL GUARDIANE. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF THE MULCH AND SHOULD BE PLACED A MINIMUM OF 30MM (2") OUT FROM THE TREE TRUNK ON ALL SIDES.
 ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF 300MM (12") OR APPROVED EQUIVALENT ROVET FIBREGLASS TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

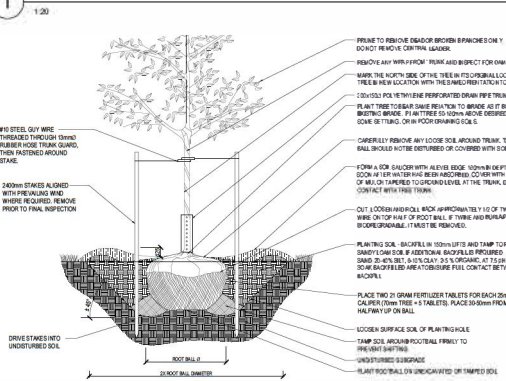
GENERAL REQUIREMENTS

USE ABOVE SPECIFICATIONS IN CONJUNCTION WITH THE GENERAL LANDSCAPE SPECIFICATIONS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADING ASSOCIATION (LOHTA) AND THE MURRAY'S SOIL GROWERS ASSOCIATION OF ONTARIO. USE ONLY PLANT MATERIAL, TREE TO NAME, SIZE AND GRADE AS SPECIFED ON PLANTING PLAN. PROVIDE SUFFICIENT LABELS OR MARKINGS TO INDICATE CLEARLY THE VARIETY, SIZE AND GRADE OF EACH SPECIMEN OR BUNDLE.
 OBTAIN APPROVAL FOR SUBSTITUTIONS AS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY UNIFORM STOCK GROWN UNDER HORTICULTURAL PRACTICES. ALL PLANTING MATERIAL SHALL BE FREE FROM DISEASE AND UNDAIMAGED. CHECK LOCATIONS AND OBTAIN STATEMENTS OF ALL UTILITY LINES BEFORE EXCAVATION. OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCEMENT OF ANY WORK. REPORT IN WRITING ANY DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO THE LANDSCAPE ARCHITECT BEFORE THE END OF THE BIDDING PERIOD AND BEFORE COMMENCEMENT OF CONSTRUCTION. THESE SPECIFICATIONS MAY BE SUPERSEDED BY ADDITIONAL SPECIFICATIONS SET OUT IN THE TENDER DOCUMENTS. CONTRACTOR TO VERIFY ALL DOCUMENTS.
 (GUARANTEE PERIOD)
 PROVIDE ONE YEAR GUARANTEE ON ALL LANDSCAPE WORK FROM DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. GUARANTEE PERIOD MAY BE EXTENDED TO TWO FULL YEARS BEYOND ON MUNICIPAL STANDARDS. CONTRACTOR TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT.

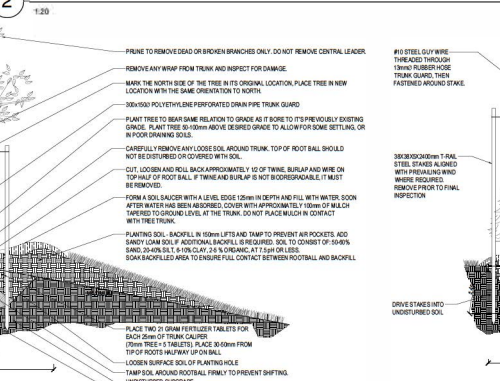
(GUARANTEE PERIOD)

PROVIDE ONE YEAR GUARANTEE ON ALL LANDSCAPE WORK FROM DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. GUARANTEE PERIOD MAY BE EXTENDED TO TWO FULL YEARS BEYOND ON MUNICIPAL STANDARDS. CONTRACTOR TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT.

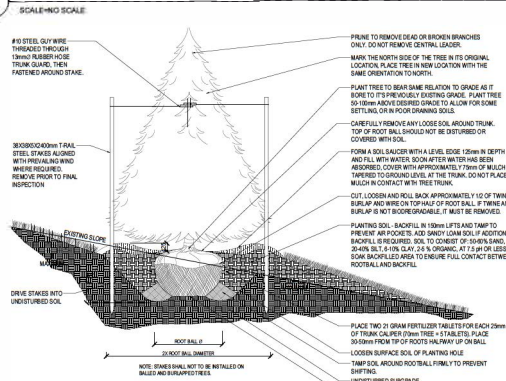
1 LANDSCAPE SPECIFICATIONS



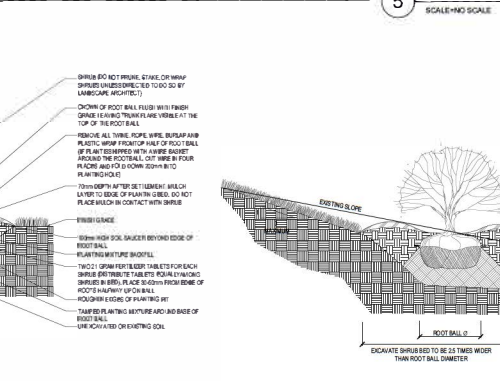
2 PLANT MATERIAL INSTALLATION



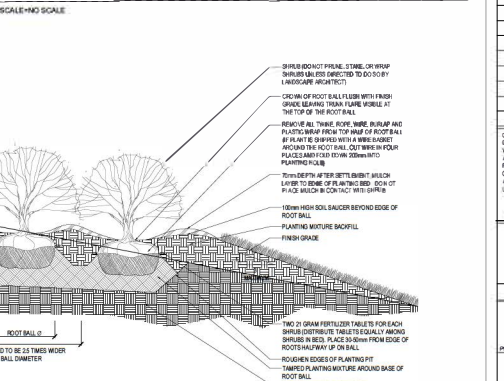
3 STAKED B&B DECIDUOUS TREE INSTALLATION DETAIL



4 STAKED B&B TREE SLOPED INSTALLATION DETAIL-OV SLAB



5 STAKED B&B CONIFEROUS TREE PLANTING DETAIL



6 STAKED B&B CONIFEROUS TREE SLOPED PLANTING DETAIL



7 B&B SHRUB BED PLANTING DETAIL



8 B&B SHRUB SLOPED BED PLANTING DETAIL



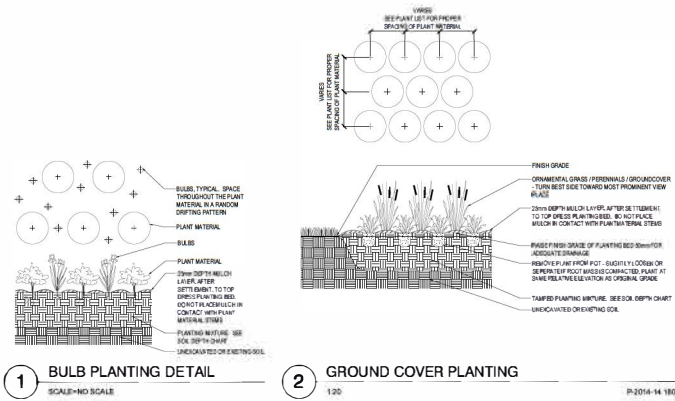
| NO. | ISSUED FOR | DATE | BY |
|-----|----------------------------|------------|----|
| 01 | ISSUED FOR SITE PLANNING | 2018-11-08 | CR |
| 04 | REVIEWED PER TOWN COMMENTS | 2018-04-30 | JD |
| 06 | REVIEWED PER TOWN COMMENTS | 2018-07-17 | JD |
| 07 | REVIEWED PER TOWN COMMENTS | 2018-07-17 | JD |
| 08 | FOR TOWN REVIEW | 2018-08-01 | JD |
| 10 | ISSUED FOR REVIEW | 2018-08-01 | JD |
| 11 | ISSUED FOR REVIEW | 2018-08-01 | JD |

PROPOSED COMMERCIAL DEVELOPMENT
 135 QUEEN STREET
 NAGARA ON THE LAKE
 ONTARIO

| NO. | DATE | BY |
|----------|------------|----|
| DR-10-00 | 2018-10-22 | JD |
| DR-10-01 | 2018-10-22 | JD |
| DR-10-02 | 2018-10-22 | JD |
| DR-10-03 | 2018-10-22 | JD |
| DR-10-04 | 2018-10-22 | JD |
| DR-10-05 | 2018-10-22 | JD |
| DR-10-06 | 2018-10-22 | JD |
| DR-10-07 | 2018-10-22 | JD |
| DR-10-08 | 2018-10-22 | JD |
| DR-10-09 | 2018-10-22 | JD |
| DR-10-10 | 2018-10-22 | JD |

L-301
 4th Fl. 2018

Appendix B



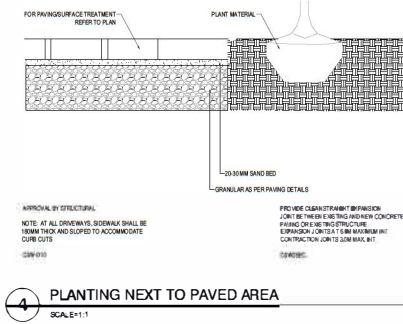
3 SEEDING AND HYDROSEEDING SPECIFICATIONS
1:20 P-2014-14, 180-15

SEEDING AND HYDROSEEDING SPECIFICATIONS
 BASED ON SEEDS OR HYDROSEEDS SHALL BE DONE IN APPLICATION OF SEED AT THE RATE SPECIFIED ON THE SEED MIXTURE TABLE.
 RETIQUES SHALL BE SOAKED WITH HYDROSEEDER AT THE FOLLOWING RATE:
 RATE PER HECTARE:
 0-20-0 ANALYSIS 450KG
 32-0-0 ANALYSIS 150KG
 (SOLPHUR COATED AREA) 225KG
 0-40-0 ANALYSIS 225KG

HYDRALIC WASH TO BE APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE APPLIED AT THE RATE OF 30 LITRES PER SQUARE METRE TO BE APPLIED BY HAND HELD SPRAYING AND WASHED TO THE SITE FOR COMPLETION. IN THE APPLICATION OF SEED WITH HYDRALIC WASH, THE CONTRACTOR SHALL NOT COVER UP EITHER THE BOUNDARY ADHERENCE OR CONDUITS SUCH AS HOV WASH FROM GROUND OR GROUND COVER WITH SOIL OR FINISHING WATER.
 A SOIL TEST SHOULD BE PERFORMED BY A COMPETENT HYDROSEEDING CONTRACTOR TO VERIFY MIXTURE AND PERCENTAGES REQUIRED.

PREPARATION:
 GRADE FOR GRADE, EXAMINE UNDER WASHING WASH SPOTS, ENSURE POSITIVE DRAINAGE, REMOVE EXCESS ROOTS, BRANCHES, STUMPS, EXCESSIVE ROOT MATERIAL AND UNDESIRABLE MATERIALS, REMOVE SUBSOIL THAT HAS BEEN CONTAMINATED WITH OIL, GASOLINE OR OIL OIL ON UNDER EXPOSURE OF FINISHED MATERIAL AS DIRECTED BY LANDSCAPE ARCHITECTS.

GRADE FOR GRADE FOR HYDROSEEDING TO A UNIFORM SURFACE AND REMOVE VEGETATION WHICH MAY BE TYPICAL WITH SEEDING OPERATIONS. COVER FOR TO DEPTH OF 20MM MINIMUM AND FINISH TO STORED AND STORED MATERIAL WHICH PROVIDES SCORE THAT IS ABOVE THE SURFACE.
 MIXTURE OF 10MM COARSE GRADE FOR SEED-GROWTH PROMOTIVE CAPABILITY AND FINISHING. USE 10MM QUARTZ SAND OR FINE MARIETTA HEDERULUS OR SIMILAR APPROVED SOIL STABLE (OR ALL SOIL CONDITIONS). ALL MIXTURES HYDROSEEDING TO RECEIVE 50MM OF TOPSOIL.
 MAINTENANCE:
 SEEDING AREAS TO BE MAINTAINED BY CONTRACTOR THROUGHOUT ADEQUATE WATER PERIODS, WEATHERING AND REPAIR LOTS TO SEEDS. GRANULAR FERTILIZER TO BE APPLIED IMMEDIATELY AFTER FALL WILL BE ACCEPTED BY FOLLOWING SPRING. ONE MONTH AFTER START OF GROWING SEASON PROCESS FOR FINISHING CONDUITS ARE TO BE FILLED.
 NOTE: SEEDING AND HYDROSEEDING IS SUBJECT TO CHANGE. LANDSCAPE ARCHITECT TO CONFIRM SPRING, ERECTING CONDUITS AND SEED MIXTURE WITH THE TOWN OF MISSISSAUGA. THESE PAGES DIVISION B WORKING PRIOR TO SEEDING OPERATIONS.



CLIENT

NOT FOR CONSTRUCTION

| NO. | DESCRIPTION | DATE | BY |
|-----|--------------------------------|------------|----|
| 01 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 04 | REVISED FOR TOWN COMMENTS | 2015-04-20 | JD |
| 08 | REVISED FOR TOWN COMMENTS | 2015-08-17 | JD |
| 09 | REVISED FOR TOWN COMMENTS | 2015-09-16 | JD |
| 09 | FOR TOWN REVIEW | 2016-08-03 | JD |
| 10 | ISSUED | 2016-08-03 | JD |

CONTRACTOR MUST VERIFY ALL UNDERLAYS ON THE JOB AND REPORT ANY EQUIPMENT TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TERRAPLAN AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED TO THE CONTRACTOR AT THE COMPLETION OF THE WORK.
 ALL DRAWINGS TO BE USED FOR CONSTRUCTION ON WHICH SIGNED BY THE LANDSCAPE ARCHITECT.



PROPOSED COMMERCIAL DEVELOPMENT
 135 QUEEN STREET
 MISSISSAUGA, ONTARIO

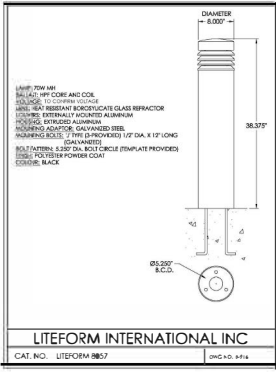
PROJECT: LANDSCAPE DETAILS

| | |
|--------|-------------|
| DATE: | 14-SEP-2014 |
| SCALE: | AS SHOWN |
| DATE: | 14-SEP-2014 |
| SCALE: | AS SHOWN |
| DATE: | 14-SEP-2014 |
| SCALE: | AS SHOWN |



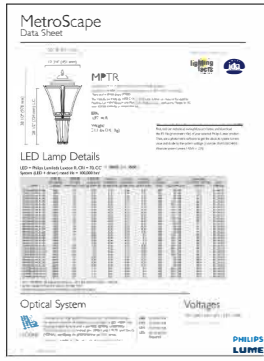
L-302
 14-SEP-2014

Appendix B

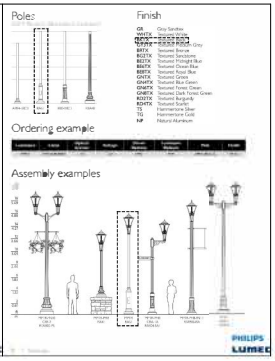
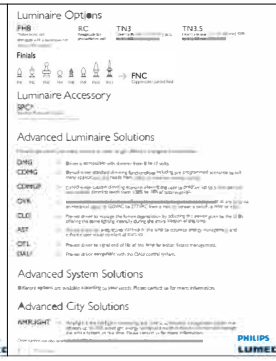


1 LIGHT BOLLARD
 1:20

P:2017/4/04/180-29



2 LIGHT DETAIL
 SCALE: 1/1



CLIENT

NOT FOR CONSTRUCTION

| | | |
|--|--|--|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

| | | |
|--|--|--|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

terraplan
 LANDSCAPE ARCHITECTS

21 Denison Blvd., Suite 102
 Toronto, Ontario, M5S 2C1
 Canada, Tel: 416-593-4911
 Fax: 416-593-4911

terraplanlandscapes.com

PROPOSED COMMERCIAL DEVELOPMENT
 135 QUEEN STREET
 NAGARVA ON THE LAKE
 ONTARIO

PROJECT
LANDSCAPE DETAILS

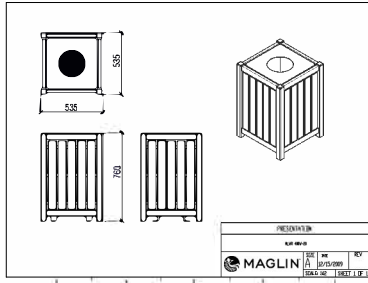
DATE: 2017-05-29
 SCALE: AS SHOWN
 PROJECT: 14-189R

APR 30, 2015

L-303

Small vertical text at the bottom left corner, likely a page number or reference code.

Appendix B



1 MAGLIN MLWR 400W TRASH RECEPTACLE
1:20 P-2014-14-180-28

| DATE | BY | REVISION |
|------------|----------|--------------|
| 01/15/2014 | J. P. B. | PRESENTATION |

MLB450W

NOTE: MATERIALS SHOULD BE PROVIDED WITH FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES.

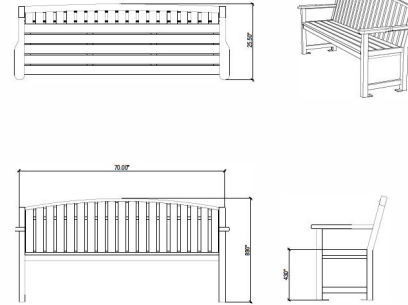
NOTE: FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES.

NOTE: INSTALLATION: THIS BENCH IS DESIGNED TO BE INSTALLED ON A CONCRETE SLAB AND SHOULD BE PROVIDED WITH FINISHES AND FINISHES.

NOTE: TO SPECIFY: MATERIALS AND FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES.

NOTE: OPTIONS: FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES.

NOTE: OTHER: FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES AND FINISHES SHOULD BE PROVIDED WITH FINISHES AND FINISHES.



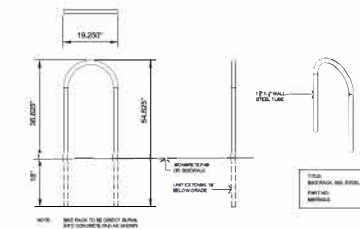
2 BENCH DETAIL MAGLIN OR APPROVED EQUIVALENT
1:20 P-2014-14-180-21



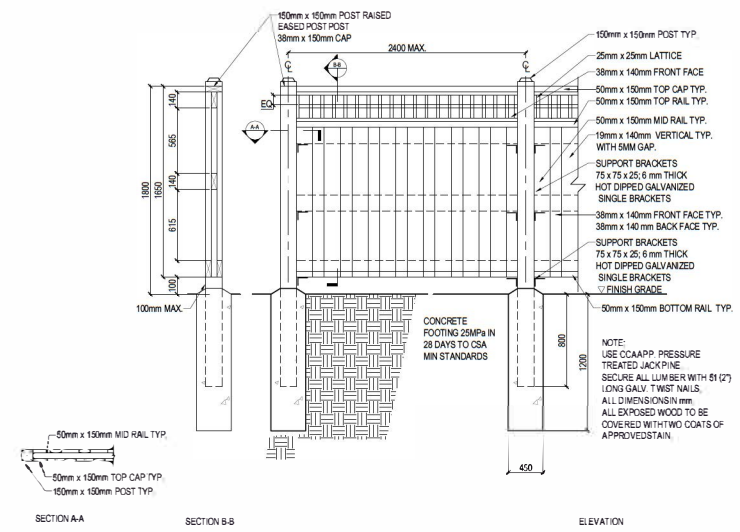
IMAGE OF FENCE TAKEN FROM 156 QUEEN STREET, NIAGARA ON THE LAKE.

NOTE: STAIN TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO COMPLETION. SAMPLE TO BE PROVIDED FOR APPROVAL.

3 WOODEN PICKET FENCE 1070 MM HEIGHT
1:20 P-2014-14-180-27



4 TYP. BIKE RACK
1:20 P-2014-14-180-22



5 1800 MM (6'-0") WOOD FENCE WITH LATTICE
1:20 P-2014-14-180-26

NOTE: STAIN TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO COMPLETION. SAMPLE TO BE PROVIDED FOR APPROVAL.



CLIENT

NOT FOR CONSTRUCTION

| NO. | DESCRIPTION | DATE | BY |
|-----|--------------------------------|------------|----|
| 01 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 02 | REVISED FOR TOWN COMMENTS | 2015-04-30 | JD |
| 03 | REVISED FOR TOWN COMMENTS | 2015-08-17 | JD |
| 04 | REVISED FOR TOWN COMMENTS | 2015-02-16 | JD |
| 05 | FOR TOWN REVIEW | 2014-08-03 | JD |
| 06 | ISSUED | 2014-08-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE SPECIFIC TO THE PROJECT AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS TO BE USED FOR CONSTRUCTION OR WHEN SIGNED BY THE LANDSCAPE ARCHITECT.



PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

PROJECT: LANDSCAPE DETAILS

| DATE | BY |
|-----------------|---------|
| DATE: 08 | BY: NTS |
| DATE: SEPT 2014 | BY: NTS |
| PROJECT: 14-108 | BY: NTS |



L-304
AUG 28, 2015

Appendix A



The Town of Niagara-On-The-Lake

Telephone (905) 468-3266
Facsimile (905) 468-2959

1593 Four Mike Creek
Road
P.O. Box 190
Virgil, Ontario
L0S 1T0

Report: MHC-18-029 **Committee Date:** June 12, 2018

Report To: Committees of Council
Subject: 135 Queen Street - Heritage Permit Application - New Building

1. RECOMMENDATION

It is respectfully recommended that:

- 1.1 the heritage permit application for 135 Queen Street to permit revisions to the approved Site Plan, Landscape Plan and Building Elevations for the subject property, be approved, in accordance with the drawings attached as **Appendix A**, subject to the following conditions:
 - a) the door at the west building elevation of 135 Queen Street be removed, to the satisfaction of the Director of Community and Development Services;
 - b) the final capping system design be approved to the satisfaction of the Municipal Heritage Committee;
 - c) the applicant return to the Municipal Heritage Committee for final approval of the water fountain designs; and
 - d) the applicant provide for additional trees on the landscaping plan internal to the site, to the satisfaction of the Municipal Heritage Committee.

2. PURPOSE / PROPOSAL

The purpose of this report is to review the Heritage Permit Application to permit revisions to the approved site plan for the subject property. The application proposes the construction of a new structure of with a ground floor area of 840 m².

The application, including a Site Plan, Landscape Plan and Building Elevations, are attached as **Appendix A**.

3. BACKGROUND

3.1 Site Description

The property is a deep L-shaped lot on the North side of Queen Street which

Appendix A

formerly had a Gothic house at the street and large barn in the rear. The barn has since been demolished. The house was one-and-a-half storey with Gothic revival profile, which reputedly dated to ca 1835 but of somewhat later appearance. John Burns operated a shoe-making and leather goods business on the premises at that time. Modern bay windows flanked an entrance with sidelights and reeded pilasters, and a rather large flat-headed window was located in the gable peak. The timber frame structure of the Gothic house was dismantled in 2015 and is currently in storage to be reconstructed with the new development.

3.2 Relevant Past Property Alterations and Information

A Site Plan, Landscape Plan and Building Elevations, attached as **Appendix B** to this report were approved by Town Council in April 2015, based on recommendations of the March 2015 Municipal Heritage Committee. The applicant has advised that the project is currently undergoing a Site Plan Amendment due to a Stage 4 Archaeological Assessment necessitating the 'capping' of the approved structure, by placing a minimum number of concrete pillars at select locations that would support a platform, on which the structure can be supported. Correspondence from the Ministry of Tourism, Culture and Sport has been received, included in **Appendix C**, indicating that the proposed construction method is likely to reduce impacts by placing the minimum number of concrete pillars at select locations that will support a platform on which the structure can be supported over the archaeological site.

4. DISCUSSION / ANALYSIS

4.1 Ontario Heritage Act

The property is in the commercial area of the Queen-Picton Heritage Conservation District and is designated under Part V of the Ontario Heritage Act. Section 42 of the Ontario Heritage Act states as follows:

Erection, demolition, etc.

42. (1) No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:

- 1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.*
 - 2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.*
- 2005, c. 6, s. 32 (1).*

4.2 Queen-Picton Heritage Conservation District (District Plan)

The following Physical Goals are included in the District Plan:

- to achieve a cohesive, well-designed district that emphasizes the human scale and historic character of the streetscape;*
- to guide the construction of new buildings so that they are of good design, compatible with the historic district*

Appendix A

The former building was considered a 'B' building. The new building however, will be assessed as a "New Building" as per the "Section 5A.3 - New Building" of the District Plan which states:

New building is encouraged on existing vacant sites or where buildings have been destroyed or demolished. New buildings should be looked upon as an opportunity to embellish the streetscape composition. It is not the intent or desire that new building should reproduce past building styles but rather that it should be of good compatible design and complementary to the height, proportion, scale and character of the district. In this regard the following criteria should be adhered to:

Height - the height of new buildings at the street face shall be sympathetic to surrounding buildings. Single storey buildings will not be permitted where they weaken the continuity of the visual streetscape composition.

Proportion - proportions of alterations, or new buildings shall complement the proportions of the surrounding buildings.

Roof - the roof pattern shall be similar to the established roof patterns of the "A" and "B" building stock.

Windows - the placement and proportion of height to width of windows shall complement those of surrounding buildings.

Colours - colours used through paint and materials shall be historically accurate colours, being of quiet, subtle, natural shades.

Materials - materials appropriate and typical of the heritage district shall be used with an emphasis on natural fabric such as brick, stone and wood as opposed to metals and plastics.

Set Back - set back of new building shall be similar to that of the existing building so as to maintain an integrity of building edge. Where the existing set back is exceptionally deep a maximum 20 feet set back will prevail.

Store Fronts - new store fronts shall be complementary to the scale and proportions of the street facades. A liberal design approach is encouraged to foster individuality of the type of business and the proprietor's taste

Section 6A.3.3 - Treescape - Policies

The following policies related to the treescape are contained within the District Plan:

- *Treescape in the business district should be recognized as a significant and contributing feature to the attractiveness of the district.*
- *Treescape in the business district should be maintained, enhanced and*

Appendix A

expanded in a manner to complement the goals of the plan .

- *Treescape planting design should be simple, effective and robust .*

4.3 Review of Proposal

A request for comments had been considered by the Municipal Heritage Committee at the October 10, 2017 Committee meeting. Drawings were presented to the Committee, including a proposed Site Plan and Building Elevations. The Staff report requested revisions to the drawings as follows:

1. *The roofline at the farthest right on south elevation drawing AD1.1 is saltbox style. It is recommended that if a saltbox roof is necessary on this elevation that there be no eaves returns.*
2. *Note on south elevation drawing AD1.3 that the siding material will be wood clapboard and note the proposed exposure.*
3. *As per earlier Heritage Committee recommendation's the porch roof should not be as deep as depicted on the revised drawings.*
4. *Recommend that the building be narrowed in some sections to create an almost breezeway-like connection spaces which would give the illusion of separate buildings and could assist in reducing the linear massing.*
5. *Revised Landscape Plan drawings will be required for any changes to the original designs.*

Requested revisions 1 through 3 have been incorporated into the proposed Site Plan. Regarding request 4 the applicant provides that the proposed building needed to be merged into one building in order to address the servicing of the site. Specifically, if separate buildings were proposed, the digging of trenches would be required in order to provide services for restroom facilities, which would result in disturbances to the site. The Municipal Heritage Committee provided additional comments at the meeting suggesting that the proposed building was overpowering, and suggesting options be considered to break-up the existing building, such as the use of a "Utilidor" system. There have been minor amendments to the west elevation; including indents at portions of the building to provide for the appearance of breaks in the massing of the building.

Staff note that the proposed building would provide for 60% lot coverage on the site, and is substantively larger than the original approved building. While the proposed building's footprint would be significantly larger than the originally approved building, Staff note that the focus of the District Plan is on the streetscape and on emphasising human-scale development in the District. The increase in lot coverage would primarily be noticed from internal to the site and in the top down plan view, and would likely have minimal impact on the overall streetscape. Furthermore, the height of the building remains sympathetic to surrounding buildings in the District. For these reasons, Staff are of the opinion that the proposed Site Plan and Building Elevations meet the intent of the District Plan.

There are minor revisions that would be required in order to comply with the Town Zoning By-law, including the removal of a door at the west building elevation.

Appendix A

Capping of the archaeological site may have an adverse impact on the character of the streetscape. Specifically, the capping may raise the apparent elevation and height of the proposed building, as viewed from the street and adjacent buildings. As such, Staff are requesting that additional information be provided including design details of the proposed capping system.

These items are included in the recommendations.

4.4 Landscape Plan

A Landscape Plan has been prepared, which includes the provision of interlocking pavers and a fountain in the middle of the site. A cedar hedge is proposed at the rear of the site to mitigate impacts on the abutting rear residential use. Planting beds are included throughout the site consisting of ground-covers, shrubs and perennials. In general, the proposed landscaping appears to provide for a functional and useable amenity space for the commercial property.

Staff note that there are a lack of trees planted internal to the site. Section 6A.3.3 of the District Plan encourages tree planing within the business area of the District. While the overall landscaping plan is well-designed, it is recommended that the applicant explore options to incorporate the planting of trees internal to the site, without adversely impacting the archaeological resources on the property. Details of the water feature have not been provided at this time, and it is requested that the water feature receive final approval by the Municipal Heritage Committee.

5. STRATEGIC PLAN

Not applicable.

6. OPTIONS

Not applicable.

7. FINANCIAL IMPLICATIONS

No costs will be incurred by the Town as a result of approval of this application. If approved, the applicant is responsible for all fees related to this application including building permits fees and site plan application fees.

8. COMMUNICATIONS

The recommendations of the Municipal Heritage Committee will go to Council for final approval. Sections 33 and 42 of the Ontario Heritage Act set out that, within 90 days after the notice of receipt is served on the applicant, the council may give the applicant:

- (a) the permit applied for;*
- (b) notice that the council is refusing the application for the permit; or*
- (c) the permit applied for, with terms and conditions attached.*

Appendix A

The Ontario Heritage Act should be consulted in regards to process and for further information. No alterations can take place on the property until Council approval and a Heritage Permit has been received by the applicant. It is the applicant's responsibility to ensure that all necessary planning and building approvals and permits have been obtained.

9. CONCLUSION

Staff recommend approval of the Heritage Permit application for 135 Queen Street, subject to the conditions noted in Section 1 of this report, as the proposal is considered to be consistent with the intent of the Queen-Picton Heritage Conservation District Plan.

Respectfully submitted,



**Jesse Auspitz, MCIP, RPP
Planner II**



**Eric Withers, MCIP, RPP
Manager of Planning (A)**

ATTACHMENTS



Appendix A.pdf Appendix B.pdf Appendix C.pdf

First Capital of Upper Canada - 1792



HAND DELIVERED

December 21, 2017

Town of Niagara-on-the-Lake
Planning and Development Services
1593 Four Mile Creek Road
P.O. Box 100
Virgil, Ontario
L0S 1T0

Attention: Ms. Denise Horne, M.A., Dip. Heritage Conservation, Planner I

Dear Madam,

RE: Heritage Permit Application
135 Queen Street
Town of Niagara-on-the-Lake, Region of Niagara

Our office is pleased to enclose a Heritage Permit Application for lands municipally addressed as 135 Queen Street ("Subject Lands").

Background

Equity Venture Group Corp. is the registered Owner of lands legally described as Part of Lots 42, 43, 54 and 55 Registered Plan TP-86 and municipally addressed as 135 Queen Street.

The Subject Lands are currently vacant and deemed a significant archeological site, requiring a Stage 4 Archeological Assessment, which has been discussed with the Ministry of Culture and Sport including the Town.

The Owner is proposing a Site Plan Amendment concurrent with the enclosed Heritage Permit application, necessary to permit the approved commercial development on the Subject Lands with the inclusion of a 'capping' of the archeological site; an approach deemed satisfactory to the Ministry.

Site Plan Amendment

As mentioned, the Owner is proposing to amend the approved Site Plan in order to facilitate a 'capping' of the archeological site, for the purpose of limiting ground disturbances.

The proposed commercial development maintains its original intent of use being a Restaurant, Office and Retail uses together with the condition of adaptive reuse of the disassembled heritage structure which is currently in storage.

E Q U I T Y V E N T U R E G R O U P C O R P .

The Site Plan Amendment proposes to merge the previously approved three structures into one, while maintaining the 'L-Shape' articulation of the previously approved Site Plan.

The Site Plan Amendment further proposes the following changes, as per the requirements of the Municipal Heritage Committee and in support of a Heritage Permit:

1. the roofline at the farthest right on the south elevation is now without an eave returns (e.g. salt box roof).
2. the siding material is noted as wood clapboard;
3. reduction of the front patio/porch to ensure the same does not detract from the actual building (e.g. Restaurant);
4. the building was narrowed in sections to create breezeway-like connections and to reduce the massing of the building, and

The proposed structures will be constructed in part using a 'Structural Platform' instead of conventional foundations, in order to meet the requirements of the Ministry, as they would pertain to the 'capping' approach deemed acceptable". The remaining structure (rear section) will be constructed using conventional foundations once the Ministry clears the Stage 4 Archeological Assessment.

From a Site Servicing perspective, the Site Plan Amendment proposes to introduce water, sanitary and storm services through adjacent lands owned by the Owner, municipally addressed as 178 Gate Street, in order to avoid disturbances to the archeological site.

The adjacent lands will not form part of the proposed Site Plan but rather an Easement will be conveyed to the Town in order to ensure access and maintenance for the municipal services.

The adjacent lands will be restored to their original state and the services will not be visible.

The Owner has pre-consulted on the proposed Site Plan Amendment with Town Planning and Operations Staff including a formal update before the Municipal Heritage Committee on October 10th, 2017.

The enclosed amended Plans reflect the recommendations of the Heritage Committee and maintain conformity to the site specific zoning by-law while maintaining the essence of the approved Site Plan.

Submission Requirements

In support of the requested Heritage Permit application, please find enclosed the following Submission Items:

- One (1) copy of a completed Heritage Permit application form, as prepared by the undersigned (Please note, building materials and colours are listed on the enclosed architectural plans)
- One (1) copy of a proposed Site Plan Amendment Drawing(s), Nestico Architect Inc.;

EQUITY VENTURE GROUP CORP.

- One (1) copy of a revised Landscape Plan, Planting Plan and Landscape Details, as prepared by Terraplan Landscape Architects;

Please proceed to schedule our attendance before the Municipal Heritage Committee.

Your ongoing attention and assistance regarding this matter is greatly appreciated.

Should you have any questions or require further information, please do not hesitate to contact the undersigned.

Yours truly,
EQUITY VENTURE GROUP CORP.

Maurizio Rogato, B.U.R.Pl., M.C.I.P., R.P.P.
Land Development

Copy:

Mr. Sam Nestico, Nestico Architect (Letter Only)
Mr. David Jonas, Terraplan Landscape Architects (Letter Only)
Mr. Jason Schooley, Upper Canada Planning & Engineering Ltd.



Department of Community & Development Services
1593 Four Mile Creek Road
P.O. Box 100, Virgil, ON L0S 1T0
905-468-3266 • Fax: 905-468-0301

www.notl.org

Niagara-on-the-Lake Heritage Permit Application

Policies for Processing Applications for Heritage Permits

The requirements to complete a Heritage Permit application are to submit:

1. One fully completed application form for a Heritage Permit signed by the property owner(s) to the satisfaction of the Town.
2. All required supporting information or material after consultation with the Heritage Advisor to the satisfaction of the Town (checklists are attached).

Heritage Permit applications are to be filed with the Town of Niagara-on-the-Lake Community and Development Services Department both in print and digital copy. Applications will not be processed until they are complete after which a Notice of Receipt shall be served on the applicant by the Community and Development Services Department.

A representative must be present at the Municipal Heritage Committee meeting at which the application is considered.

It is the policy of the Town of Niagara-on-the-Lake Community and Development Services that all applicants must consult with the Heritage Advisor prior to submitting an application.

For further information and to arrange for a pre-consultation meeting, please contact Denise Horne at 905-468-3266 ext. 297 or dhorne@notl.org. Alternatively, you can contact the Community and Development Services Department and ask to speak with a planner.



Department of Community & Development Services
 1593 Four Mile Creek Road
 P.O. Box 100, Virgil, ON L0S 1T0
 905-468-3266 • Fax: 905-468-0301

www.notl.org

APPLICATION FOR HERITAGE PERMIT

| A. APPLICANT INFORMATION | |
|---|--|
| Applicant Name | Equity Venture Group Corp. |
| Mailing Address | 122 Romina Drive, Concord, ON, L4K 4Z7 |
| Phone Number | 905-660-9222 EXT. 230 |
| E-mail *** | mrogato@solmar.ca |
| Is the applicant the owner of the property? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| B. PROPERTY OWNER INFORMATION | |
| Property Owner Name | Equity Venture Group Corp. |
| Mailing Address | 122 Romina Drive, Concord, ON, L4K 4Z7 |
| Phone Number | 905-660-9222 EXT. 230 |
| E-mail *** | mrogato@solmar.ca |
| *** By providing an e-mail address you agree to receive communications and notices from the Town and the Municipal Heritage Committee by email | |
| C. SUBJECT PROPERTY & PROPOSED PROJECT | |
| Application is made to: | |
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Alter <input type="checkbox"/> Demolish <input type="checkbox"/> Erect a Sign |
| Subject Property Address | 135 Queen Street |
| Explain all work to be undertaken as part of this project (for detailed projects and any project with an associated building permit or planning application attach extra pages as necessary) | The Project is an approved Commercial Development consisting of a restaurant and retail uses within one structure. The Project has been Site Plan Approved and a Heritage Permit was issued previously which requires the reintroduction of a Heritage Structure into the approved Commercial Structure. The Project is currently undergoing a Site Plan Amendment due to a Stage 4 Archeological Assessment necessitating the 'capping' of the approved structure and 'merging' of the approved retail buldings into one structure. A Site Plan Amendment Application is being filed concurrent with the Heritage Permit Application. |

| | |
|---|---|
| <p>Explain: Reasons for proposed alterations</p> | <p>Due to the subject lands being an Archeological Site, the approved development must be amended to introduce 'capping' of the site and merging of the approved structure into one building to avoid site disruption in accordance with the Ministry of Culture and Sport Guidelines.</p> |
| <p>Explain: How the proposal enhances the cultural heritage attributes of the property and/or meets the policies of the Heritage Conservation District Plan</p> | <p>The Proposal has been previously approved by the Town's Heritage Committee and Town Council. The amended Site Plan continues to contain the design recommendations of the previously approved Site Plan with exception of the merging of the structure into one building but all setbacks have been maintained and the front patio has been reduced in mass.</p> |
| <p>Are any other works or projects being considered in the near future? If so, please explain</p> | <p>None.</p> |

Other necessary approvals include:

Building Permit(s)
 Site Plan
 Sign Permit
 Other

For (specify work):
 Site Plan Amendment and Building Permit for construction of the approved commercial development.

D. MATERIAL DETAILS

| Attribute to be impacted | Existing Material | Proposed Material | Proposed Colours |
|--------------------------|-------------------|---|---------------------|
| Exterior Treatment | Vacant Site | See Site Plan Drawings: 1. Lap Siding 2. Trim Boards 3. Fascia and Soffit 4. Crown Mouldings 5. Window & Door Frames | See Colour Schedule |
| Roof | Vacant Site | Metal Roof | Charcoal(QC306) |

| | | | |
|----------------------|--|--|--|
| Trim | | | |
| Doors | | | |
| Windows | | | |
| Porch/ Verandah | | | |
| Fencing | | | |
| Landscaping | | | |
| Interior Features | | | |
| Other | | | |

The following information must be submitted with every Heritage Permit Application:

- Recent photos of all elevations to be impacted (current condition within last 2 months)
- Site Plan of property and buildings
- Perspective Drawings
- Building Elevations
- Proposed colours & materials (where there is a change or repair)
- Specifications for type and application of materials (where there is a change or repair)
- Historic photos of property (where available)

Information which may be required in consultation with staff depending on the project includes:

- Heritage Impact Assessment
- Streetscape Study
- Landscape Plan
- Floor Plans
- Other: Heritage Impact Assessment previously filed and approved.

I hereby certify that I am the property owner or their authorized agent and that the above information is true to the best of my knowledge.

I/We the Owner(s)/Agent of the subject property, and the applicant(s) of this subject application, by signing this application agree to allow either staff and/or a Committee Member of the Town of Niagara-on-the-Lake Municipal Heritage Committee the right to enter onto my property, as necessary, to view & photograph the property for the proposal. Failure to allow access onto the property may result in the application being considered incomplete.

The applicant acknowledges that the Municipality considers the application forms and all supporting materials including studies and drawings, filed with any application to be public information and to form part of the public record. With the filing of an application, the applicant consents and hereby confirms that the consent of the authors of all supporting reports have been obtained, to permit the Municipality and Region to release the application and any supporting materials either for its own use in processing the application, or at the request of a third party, without further notification to, or permission from, the applicant.

Date: Dec. 19, 2017 Print Name: Maurizio Rogato

OWNER Signature: _____

**Email Heritage Permit to: mrogato@solmar.ca

** By providing an e-mail address you agree to receive communications and notices from the Town and the Municipal Heritage Committee by email

| NIAGARA ON THE LAKE - OLD TOWN COMMUNITY ZONING DISTRICT SECTION 7.7 - QUEEN PICTON COMMERCIAL, SITE SPECIFIC EXCEPTION 62 (QPC-62) | | | ZONING BY-LAW 4316-09 | BY-LAW |
|--|--|--|----------------------------|------------|
| GENERAL EMPLOYMENT (GE) ZONE | REQUIREMENTS | PROPOSED | BY-LAW REFERENCE | COMPLIANCE |
| LOT AREA | | 1584.41m ² | N/A | YES |
| LOT FRONTAGE | 15.33m | 15.33m | Section 7.14.62.1.(a) | YES |
| LOT COVERAGE, INCLUDING COVERED PATIO'S + AREAS - ZBL ITEM | 60% (MAX) | TOTAL = 950.6m ² /1584.41m ² = | Section 7.14.62.1.(e) | YES |
| FRONT YARD SETBACK | 0m | 0.937m | Section 7.7.4 | YES |
| INTERIOR SIDE YARD SETBACK | 0m | 0.915m (WEST), 1.221m (EAST) | Section 7.7.4 | YES |
| EXTERIOR SIDE YARD SETBACK | N/A | N/A | N/A | N/A |
| REAR YARD SETBACK (AS PER FIG 7.14.62:135 QUEEN ST) | STAGGERED WITH MINIMUM DIM = 4.57m | 5.21m | Section 7.14.62.1.(c) | YES |
| BUILDING | 7.39m | | Section 7.14.62.1.(d) | YES |
| MIN. LOT DEPTH | 33.69m | 65.563m | Section 7.14.62.1.(b) | YES |
| LANDSCAPE AREA - ZBL ITEM M | N/A | 633.81m ² | Section 6.25 | YES |
| BUFFER STRIP ABUTTING A RESIDENTIAL | 1.524m W/CONTINUOUS NATURAL LIVING FENCE AND BE IN ACCORDANCE WITH SECTION 6.6 | 1.524m W/CONTINUOUS NATURAL LIVING FENCE AND BE IN ACCORDANCE WITH SECTION 6.6 | Section | YES |
| PROPOSED GROSS FLOOR AREA (MEASURED FROM INTERIOR FACES OF THE EXTERIOR WALLS) ZBL ITEM F | | 1147.53m ² | Section 5 | |
| PARKING REQUIREMENTS (BASED ON THE GROSS LEASABLE FLOOR AREA) | | | | YES |
| GROUND FLOOR (RESTAURANT + RETAIL/ OFFICE - ZBL ITEM I) | | | | |
| GROUND FLOOR (PATIO AREAS + COVERED AREAS - ZBL ITEM L) | | | | |
| TOTAL PARKING SPACES REQUIRED | 18 CARS | CASH IN LIEU AGREEMENT | | |
| DRIVEWAYS + AISLES WIDTH | N/A | N/A | N/A | YES |
| MIN. HC PARKING SPACES 3.7m (W) X 6.0m (L) | - | CASH IN LIEU AGREEMENT | | YES |
| MIN. PASSENGER BUS PARKING | N/A | N/A | Section 6.43(a) | N/A |
| MIN. LOADING SPACES (3.6 X 9.0m) | N/A | N/A | Section 6.27.(h) Table 6-2 | YES |
| OUTDOOR PATIO RESTAURANT - ZBL ITEM | MAX 50% OF RESTAURANT GFA (MAX 90m ² IN | PATIO 'A' + 'B' = 25.84m ² + 41.01m ² = | Section 6.36.(a) | YES |
| BICYCLE PARKING (BASED ON THE GROSS LEASABLE FLOOR AREA) RESTAURANT USE - ZBL ITEMS G+J COMMERCIAL USE - ZBL ITEMS H+K | 2 PER 100m ² RESTAURANT USE (439.95) = 8.8 BIKES 2 PER 200m ² COMMERCIAL USE (365.7) = 3.65 | 13 BIKES | Section 6.41 - Table 6-7 | YES |

PROJECT STATISTICS

- A. LOT AREA = 17,054.45 SF (1584.41m²)
- B. EXISTING BUILDINGS = 4131 SF (384m²)
- C. PROPOSED GROUND FLOOR AREA (MEASURED FROM INTERIOR FACES OF THE EXTERIOR WALLS) = 8138 SF (756.10m²)
- D. PROPOSED 2ND FLOOR AREA (MEASURED FROM INTERIOR FACES OF THE EXTERIOR WALLS) = 1963.22 SF (182.39m²)
- E. PROPOSED BASEMENT FLOOR AREA (MEASURED FROM INTERIOR FACES OF THE EXTERIOR WALLS) = 1045.61 SF (97.14m²)
- F. PROPOSED GROSS FLOOR AREA (MEASURED FROM INTERIOR FACES OF THE EXTERIOR WALLS) = C + D + E = 11,146.83 SF (1035.63m²)
- G. PROPOSED UNIT 1 (RESTAURANT USE) GROUND FLOOR GROSS LEASABLE FLOOR AREA (MEASURED FROM EXTERIOR FACE OF OUTSIDE WALLS) EXCLUDING HC WASHROOM + EXIT STAIRS = 4016.01 SF (373.10m²)
- H. PROPOSED UNITS 2 TO 5 (OFFICE/RETAIL USES) GROUND FLOOR GROSS LEASABLE FLOOR AREA (MEASURED FROM EXTERIOR FACE OF OUTSIDE WALLS) EXCLUDING M/E + SPK + HC WASHROOMS + GARBAGE RM = 3468.34 SF (322.22m²)
- I. PROPOSED UNITS 1 TO 5 (RESTAURANT/OFFICE/RETAIL USES) GROUND FLOOR GROSS LEASABLE FLOOR AREA (MEASURED FROM EXTERIOR FACE OF OUTSIDE WALLS) WITH NOTED EXCLUSIONS = G + H = 7484.36 SF (695.32m²)
- J. PROPOSED RESTAURANT USE COVERED PATIO AREAS A + B = 719.56 SF (66.85m²)
- K. PROPOSED COVERED AREAS = C TO E = 468.01 SF (43.48m²)
- L. PROPOSED TOTAL COVERED PATIOS + COVERED AREAS = J + K = 1187.58 SF (110.33m²)
- M. LANDSCAPE AREA = 6822.27 SF (633.81m²) 40.01% OF LOT AREA
- N. PROPOSED GROUND FLOOR AREA (MEASURED FROM EXTERIOR FACE OF OUTSIDE WALLS)= 9044.60 SF (840.27m²) AKA BUILDING AREA IN O.B.C MATRIX.
- O. LOT COVERAGE (60% PERMITTED) = (L+N) / A = 950.6m²/1584.41m² = 59.99%.

1

ZONING BY-LAW MATRIX.

N.T.S

2

PROJECT STATISTICS

N.T.S



Nestico Architect Inc.

7-3000 Langstaff Road
Vaughan, ON. L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

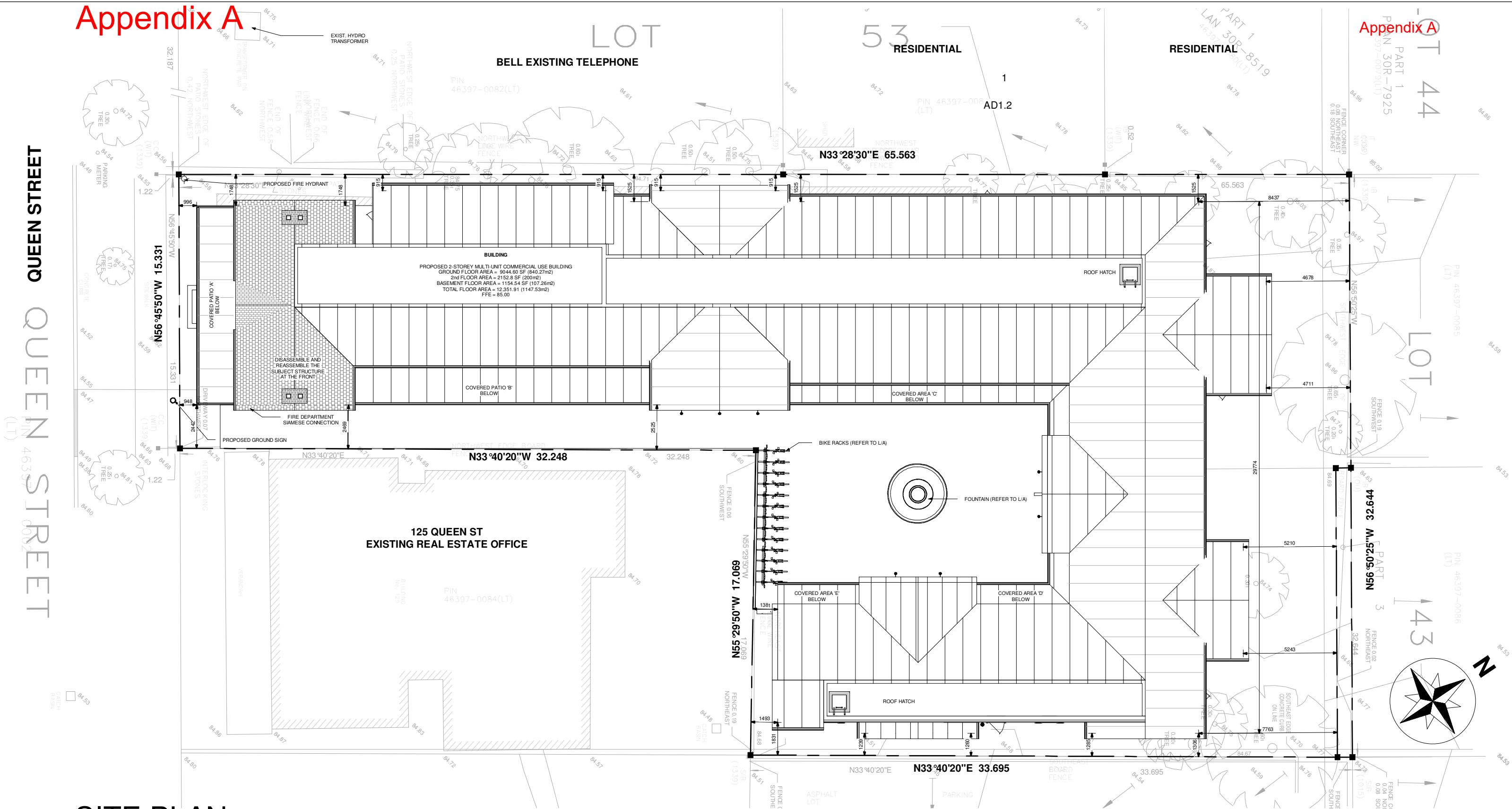
135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

ZONING MATRIX & PROJECT STATISTICS

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|-------|--------------|---------|-------------|
| 2017.12.08 | N.T.S | R4 | 15624 | AD0.0 |



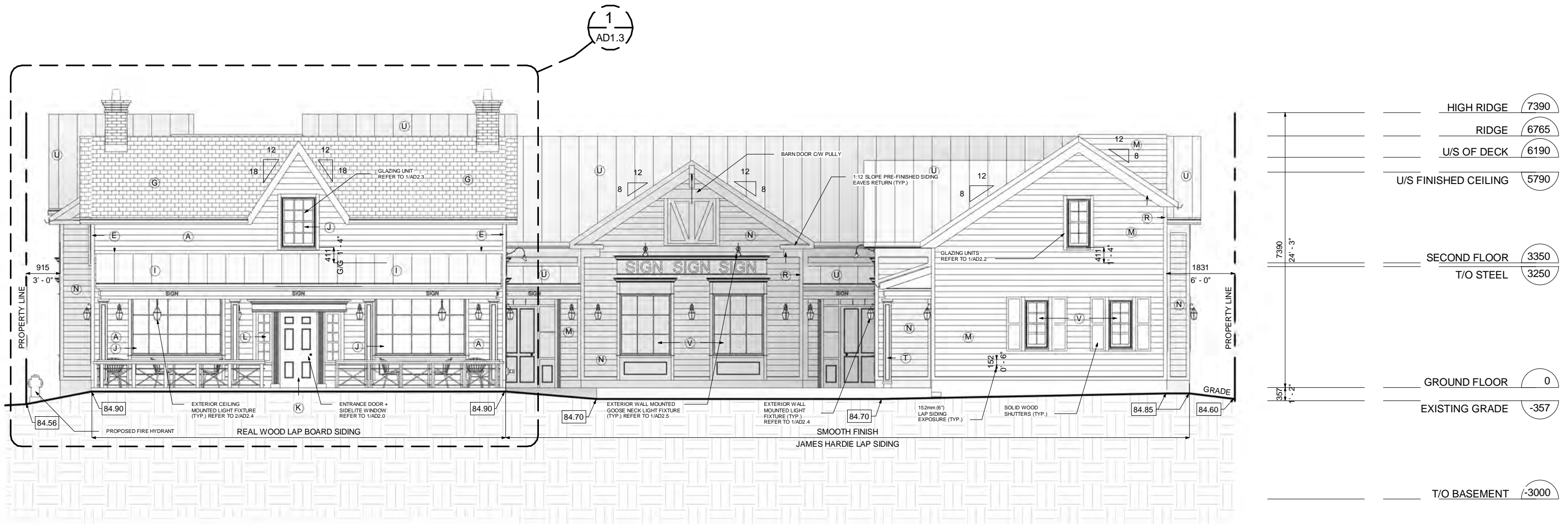
1 SITE PLAN.
 1 : 200



Nestico Architect Inc.

7-3000 Langstaff Road
 Vaughan, ON, L4K 4R7
 905.669.7000
 mail@NesticoArchitect.on.ca
 VaughanArchitect.ca

| | | | | |
|---|---------|--------------|---------|-------------|
| 135 QUEEN STREET | | | | |
| Niagara-on-the-Lake, ON L0S 1J0 | | | | |
| RE-ISSUED FOR 'SPA AMENDMENT APPLICATION' | | | | |
| SITE PLAN | | | | |
| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
| 2017.12.08 | 1 : 200 | R4 | 15624 | AD1.0 |



1 SOUTH ELEVATION AT STREET & COURTYARD BEYOND.
1 : 100



Nestico
Architect
Inc.

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'
SOUTH ELEVATION AT STREET & COURTYARD BEYOND

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|---------|--------------|---------|-------------|
| 2017.12.08 | 1 : 100 | R4 | 15624 | AD1.1 |



| | | |
|-------|----------------------|---------|
| _____ | HIGH RIDGE | (7390) |
| _____ | RIDGE | (6765) |
| _____ | U/S OF DECK | (6190) |
| _____ | U/S FINISHED CEILING | (5790) |
| _____ | SECOND FLOOR | (3350) |
| _____ | T/O STEEL | (3250) |
| _____ | GROUND FLOOR | (0) |
| _____ | EXISTING GRADE | (-357) |
| _____ | T/O BASEMENT | (-3000) |

1 SOUTH ELEVATION AT COURTYARD
1 : 100



Nestico
Architect
Inc.

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

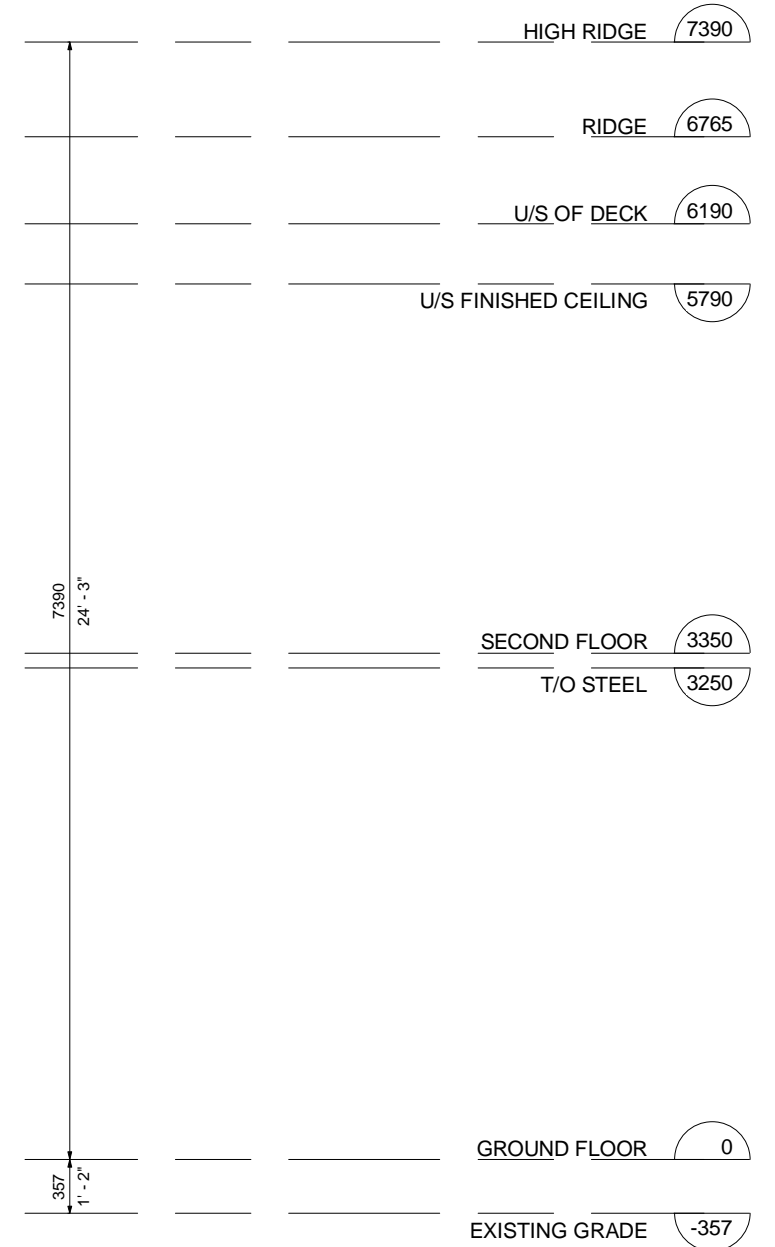
135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

SOUTH ELEVATION AT COURTYARD

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|---------|--------------|---------|-------------|
| 2017.12.08 | 1 : 100 | R4 | 15624 | AD1.2 |



1 SOUTH ELEVATION AT STREET
1 : 50



**Nestico
Architect
Inc.**

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

SOUTH ELEVATION AT STREET

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 50 | R4 | 15624 | AD1.3 |



1 EAST ELEVATION AT COURTYARD.
1 : 150



2 WEST ELEVATION.
1 : 150



**Nestico
Architect
Inc.**

7-3000 Langstaff Road
Vaughan, ON. L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

EAST ELEVATION AT COURTYARD & WEST ELEVATION

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|---------|--------------|---------|-------------|
| 2017.12.08 | 1 : 150 | R4 | 15624 | AD1.4 |



1 PARTIAL EAST ELEVATION
1 : 50



Nestico Architect Inc.

7-3000 Langstaff Road
Vaughan, ON. L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

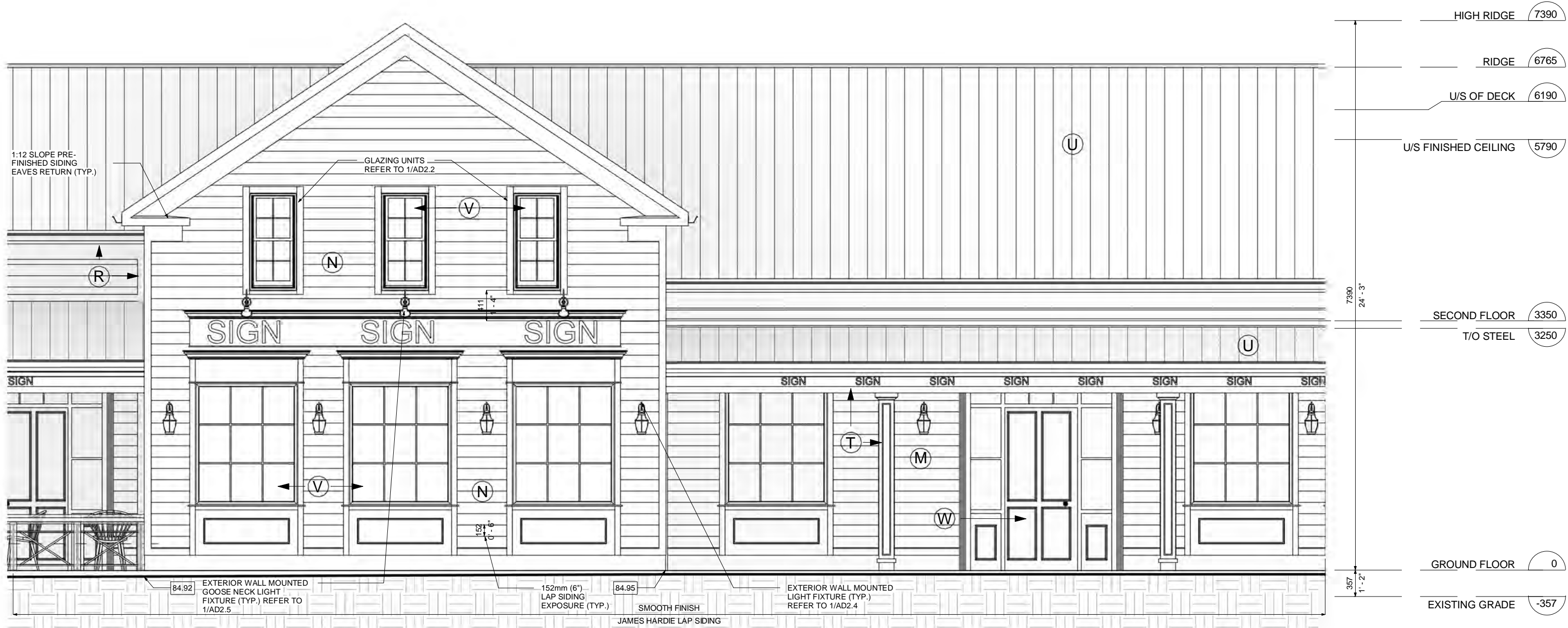
135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

PARTIAL EAST ELEVATION

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 50 | R4 | 15624 | AD1.5 |



1 PARTIAL EAST ELEVATION.
1 : 50



**Nestico
Architect
Inc.**

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

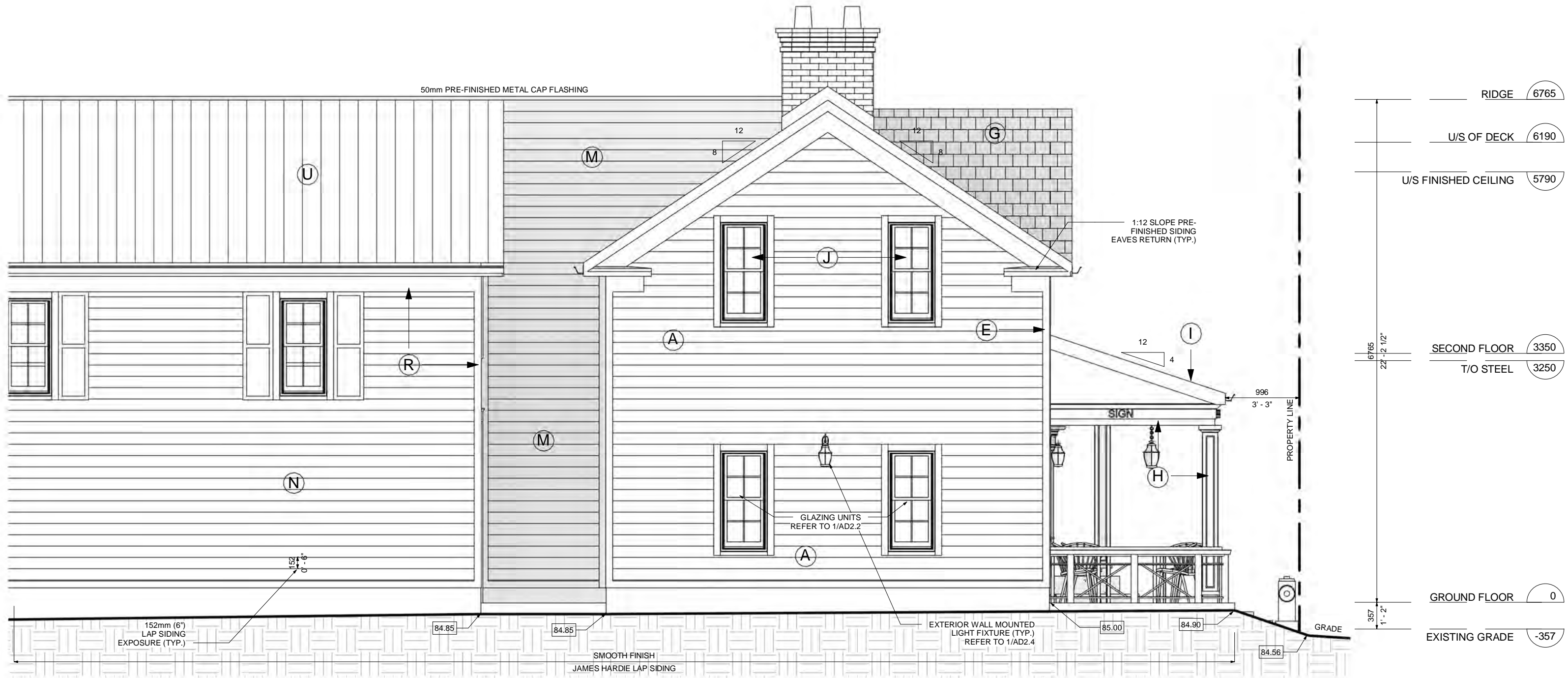
135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

PARTIAL EAST ELEVATION

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 50 | R4 | 15624 | AD1.6 |



1 PARTIAL WEST ELEVATION
1 : 50



Nestico
Architect
Inc.

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

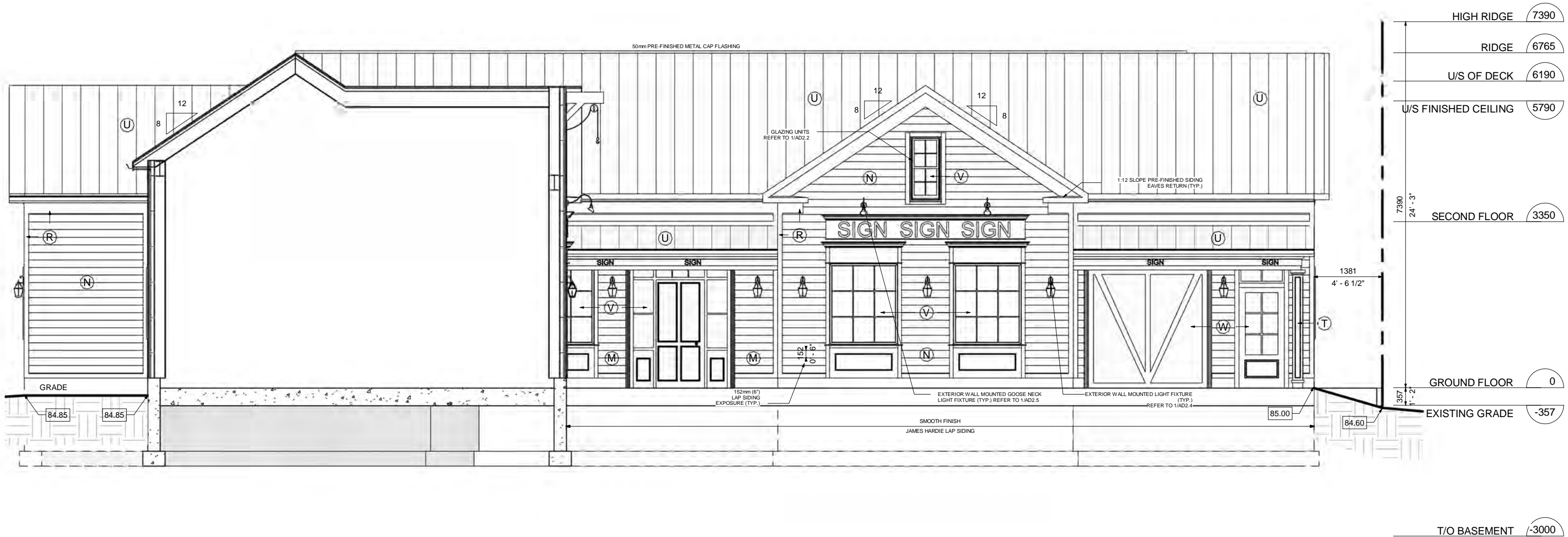
135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

PARTIAL WEST ELEVATION

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 50 | R4 | 15624 | AD1.7 |



1 WEST ELEVATION AT COURTYARD.
1 : 75



Nestico
Architect
Inc.

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

WEST ELEVATION AT COURTYARD

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 75 | R4 | 15624 | AD1.8 |



EAST ELEVATION.

1

1 : 75



**Nestico
Architect
Inc.**

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

EAST ELEVATION

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 75 | R4 | 15624 | AD1.9 |



1 NORTH ELEVATION.
1 : 100



Nestico
Architect
Inc.

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

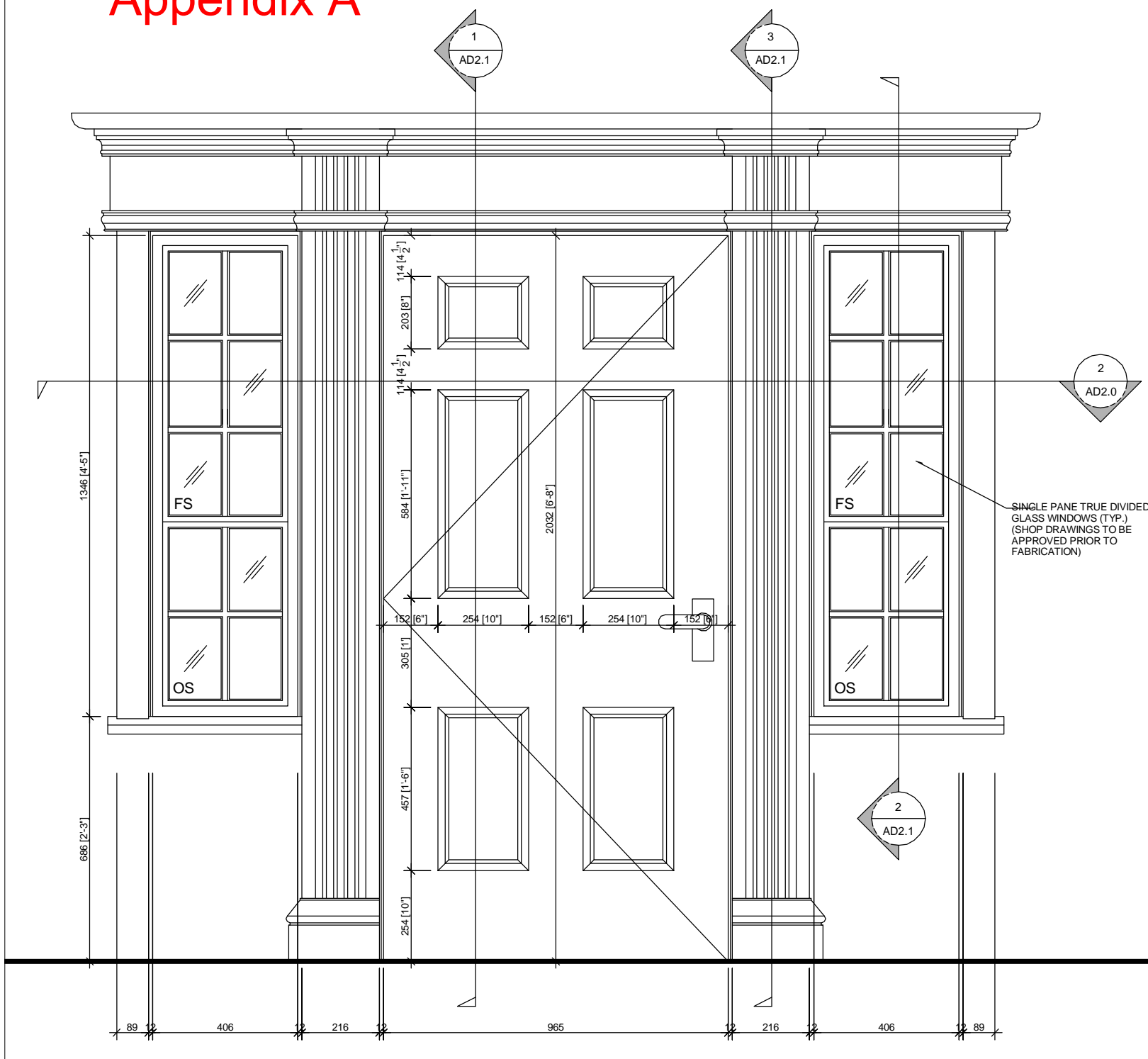
135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

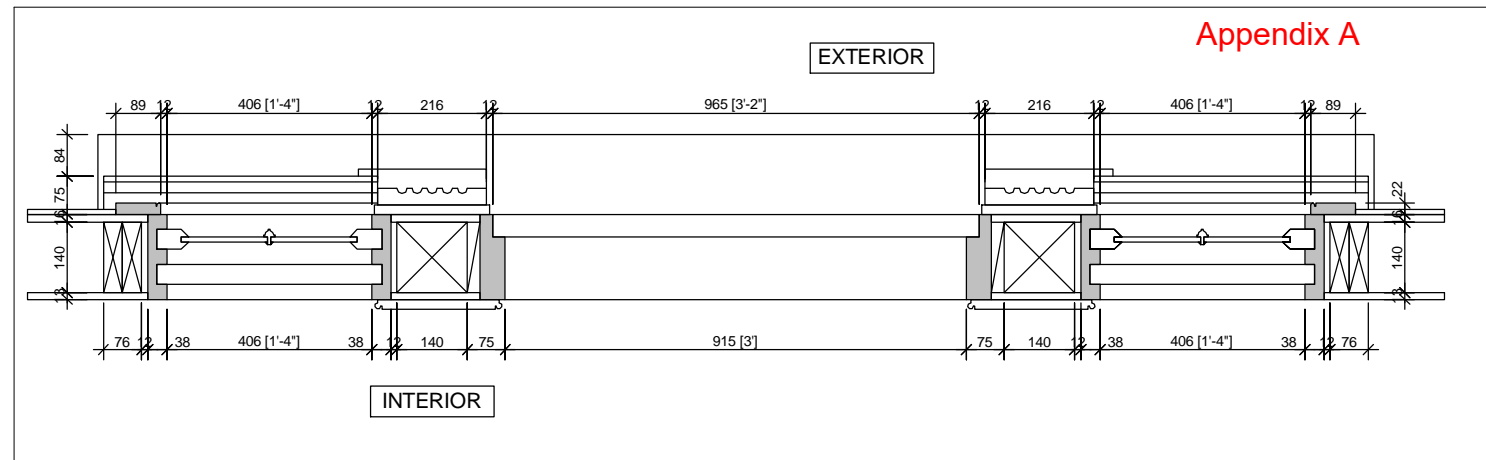
NORTH ELEVATION

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|---------|--------------|---------|-------------|
| 2017.12.08 | 1 : 100 | R4 | 15624 | AD1.10 |



1 ENTRANCE DOOR ELEVATION

1 : 15



2 ENTRANCE DOOR PLAN

1 : 15

NOTE:
 FS = FIXED SASH
 OS = OPERABLE SASH



Nestico
Architect
Inc.

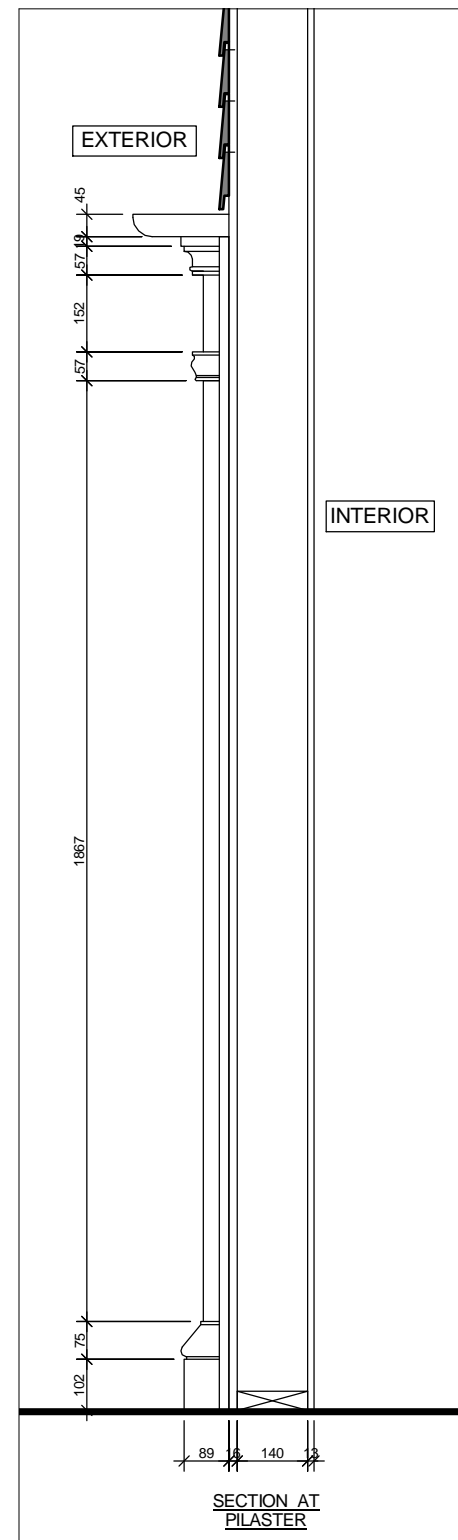
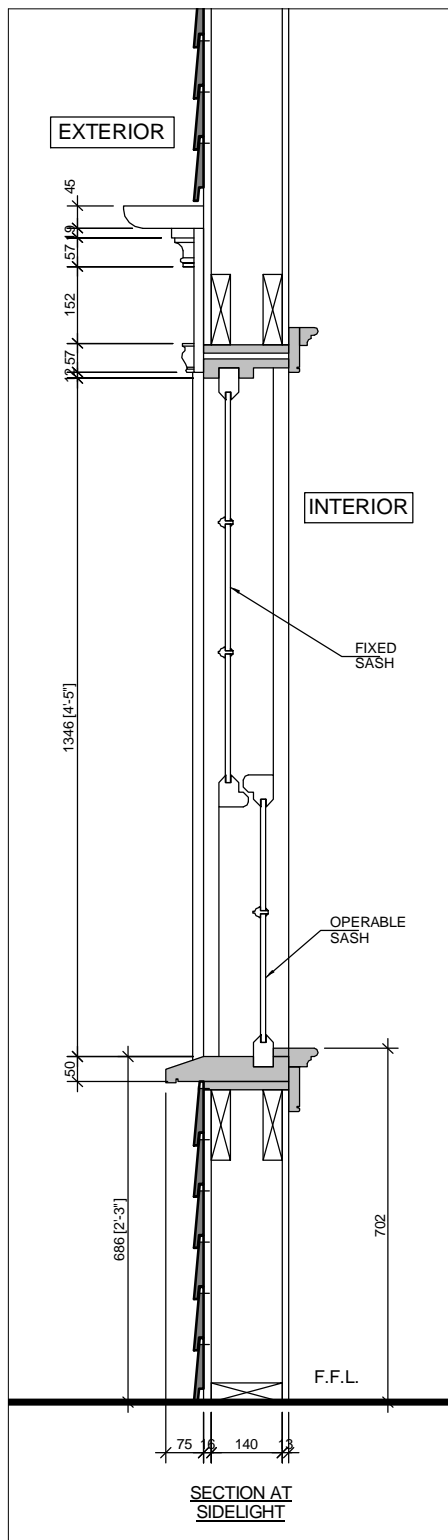
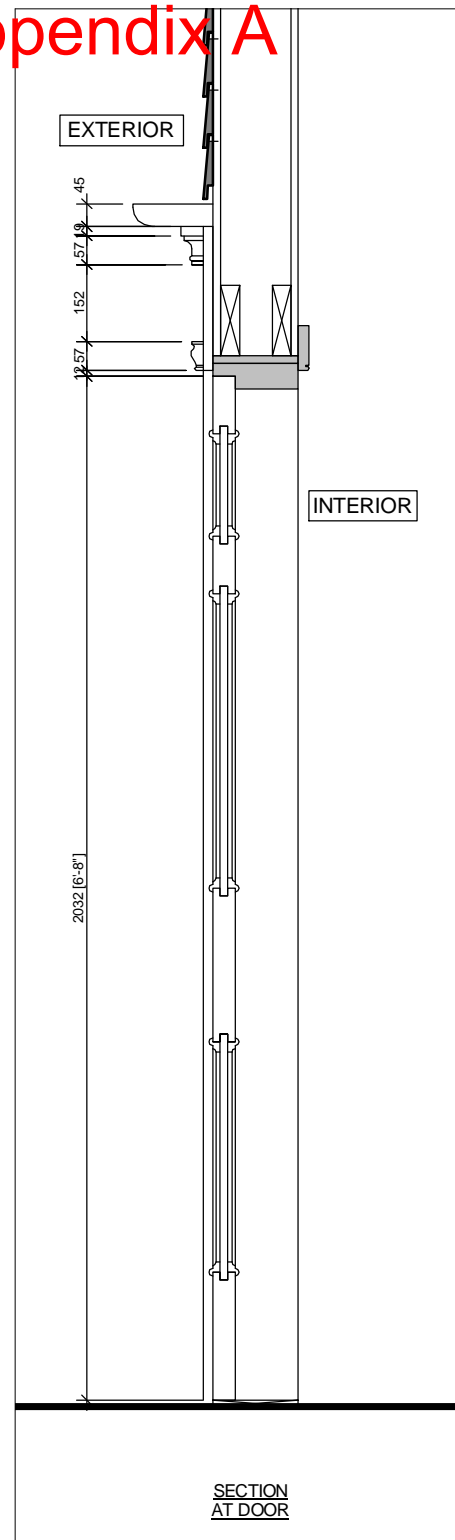
7-3000 Langstaff Road
 Vaughan, ON, L4K 4R7
 905.669.7000
 mail@NesticoArchitect.on.ca
 VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'
 SOUTH ENTRANCE DOOR & SIDELITE WINDOW DETAILS

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 15 | R4 | 15624 | AD2.0 |



1 SECTION AT DOOR
1 : 15

2 SECTION AT SIDELIGHT
1 : 15

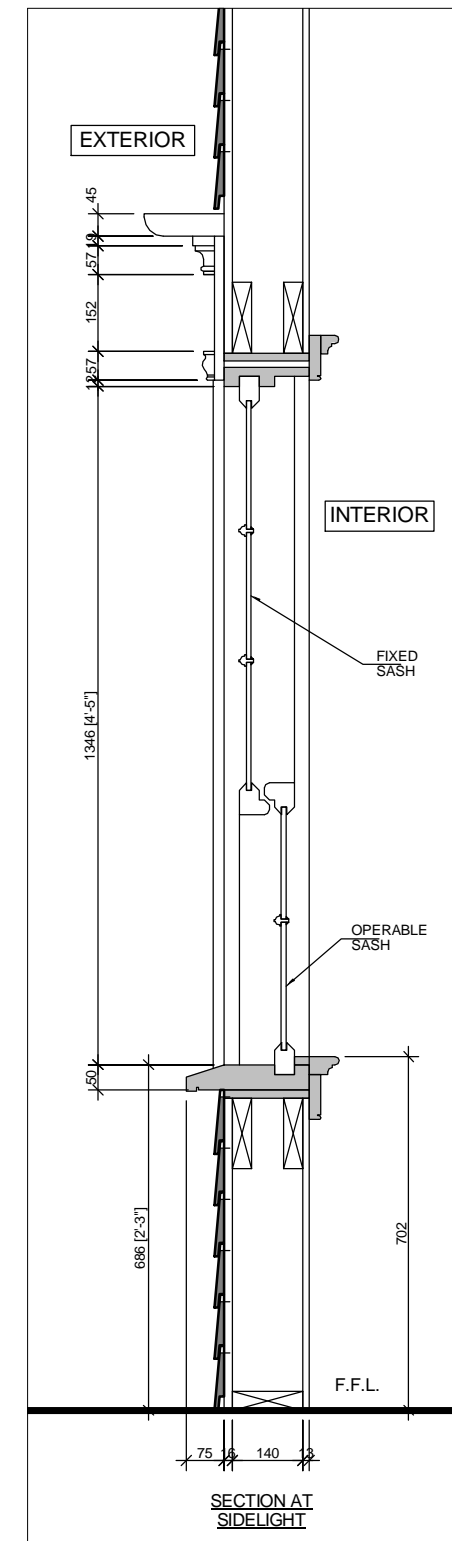
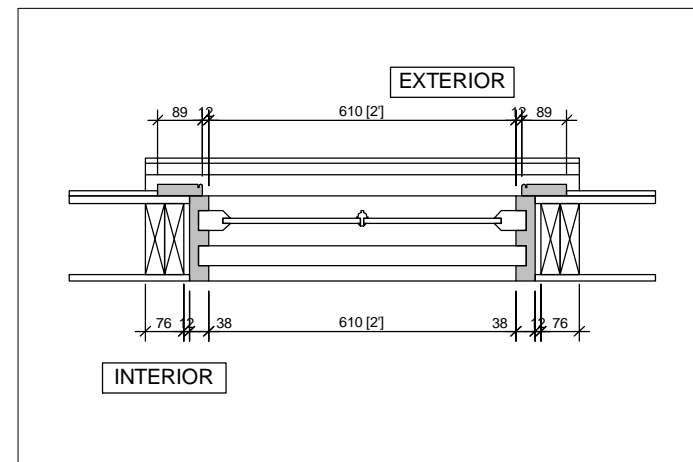
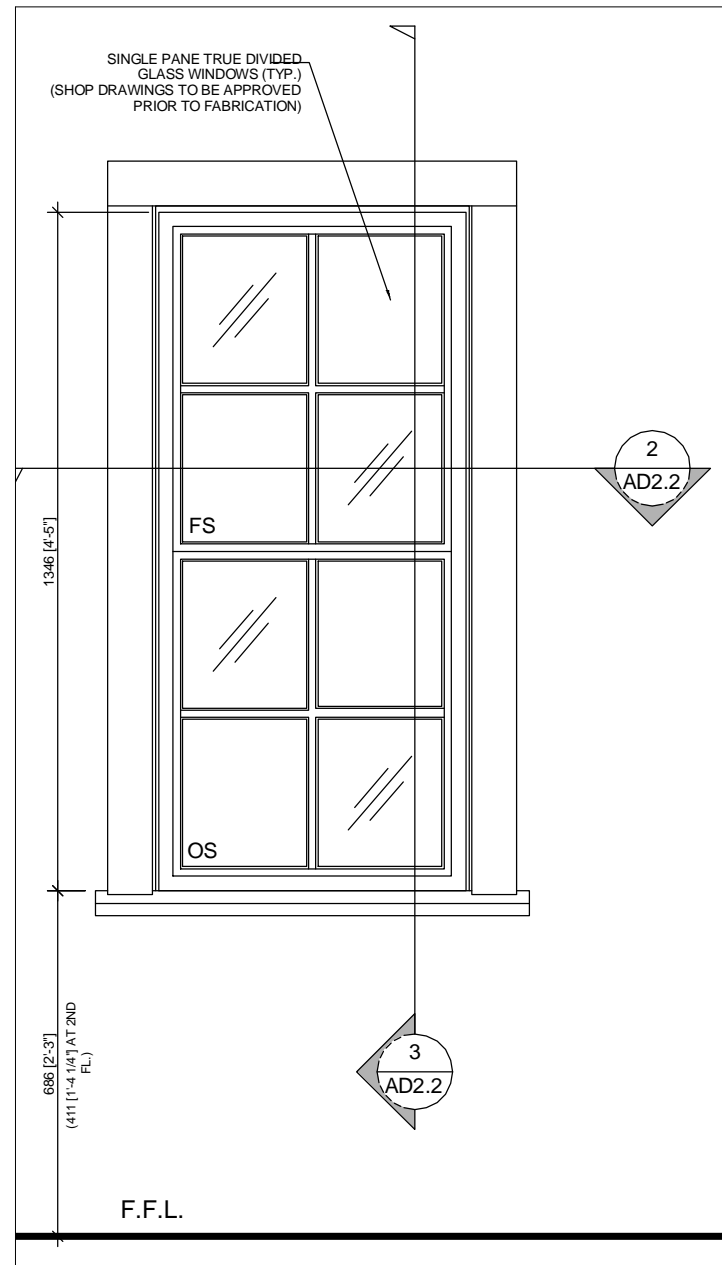
3 SECTION AT PILASTER
1 : 15

NOTE:
FS = FIXED SASH
OS = OPERABLE SASH



| | | | | |
|---|--------|--------------|---------|-------------|
| 135 QUEEN STREET | | | | |
| Niagara-on-the-Lake, ON L0S 1J0 | | | | |
| RE-ISSUED FOR 'SPA AMENDMENT APPLICATION' | | | | |
| DOOR SECTION + PARTIAL WALL SECTIONS | | | | |
| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
| 2017.12.08 | 1 : 15 | R4 | 15624 | AD2.1 |

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca



1 WINDOW 'B' ELEVATION
1 : 15

2 WINDOW 'B' PLAN
1 : 15

3 WINDOW 'B' SECTION
1 : 15

NOTE:

FS = FIXED SASH
OS = OPERABLE SASH



Nestico
Architect
Inc.

7-3000 Langstaff Road
Vaughan, ON, L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

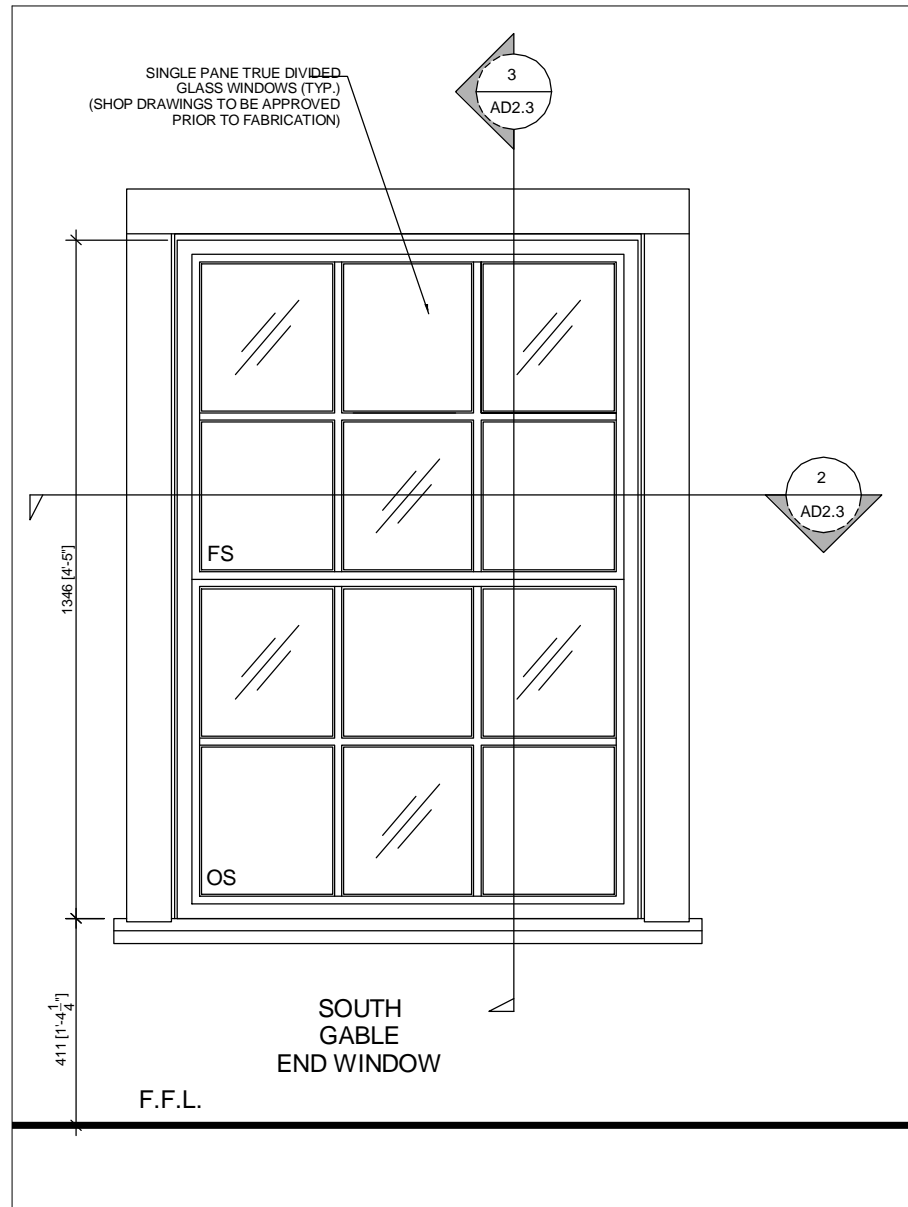
135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

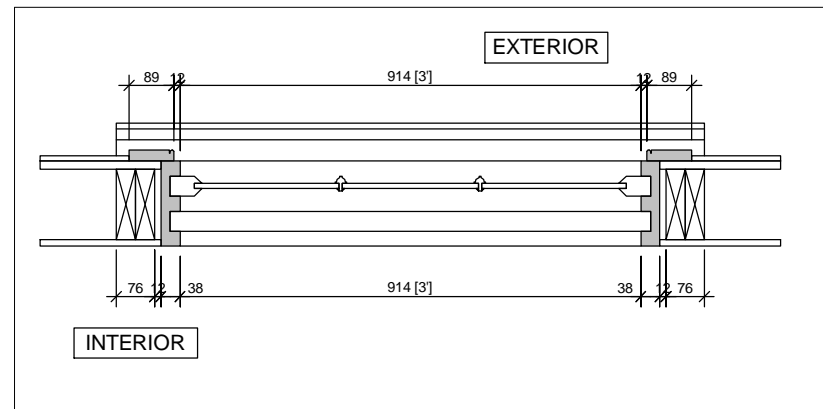
RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

EAST + WEST + NORTH + SOUTH WINDOW DETAILS

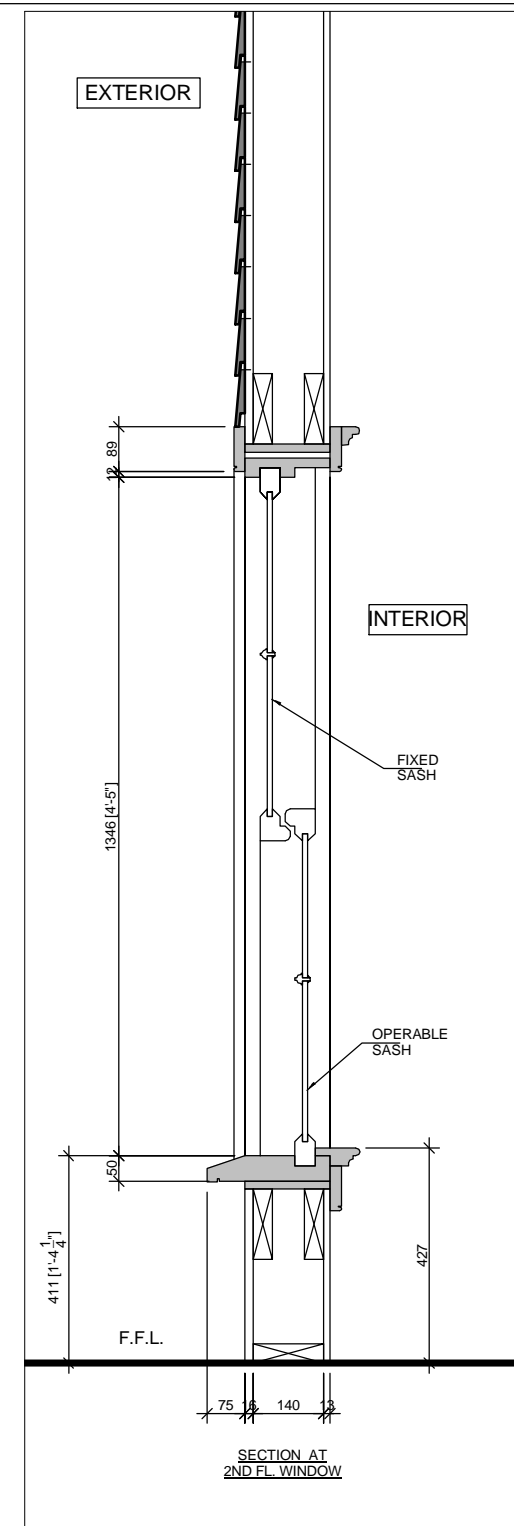
| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 15 | R4 | 15624 | AD2.2 |



1 WINDOW 'A' ELEVATION
1 : 15



2 WINDOW 'A' PLAN
1 : 15



3 WINDOW 'A' SECTION
1 : 15

NOTE:
FS = FIXED SASH
OS = OPERABLE SASH



Nestico Architect Inc.

7-3000 Langstaff Road
Vaughan, ON. L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

SOUTH GABLE END WINDOW DETAILS

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|--------|--------------|---------|-------------|
| 2017.12.08 | 1 : 15 | R4 | 15624 | AD2.3 |



1

EXTERIOR WALL MOUNTED LIGHT FIXTURE

N.T.S

2

EXTERIOR CEILING HUNG LIGHT FIXTURE

N.T.S



Nestico
Architect
Inc.

7-3000 Langstaff Road
Vaughan, ON. L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

EXTERIOR LIGHT FIXTURES

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|-------|--------------|---------|-------------|
| 2017.12.08 | N.T.S | R4 | 15624 | AD2.4 |



BARN LIGHT ELECTRIC
 THE FRONTIER ANGLE SHADE ELECTRIC
 CODE: BLE-G-ASFC-PC

FINISH CHART / FEATURES

POWDERCOAT FINISHES: DURABLE FINISH COLORS TO FIT ANY STYLE FROM TRADITIONAL TO RETRO TO MODERN
 GOOSENECK ARMS: DOZENS OF STYLES, PROJECTIONS, DESIGNS AND ANGLES TO CHOOSE FROM
 WIRE CAGE: ADD VINTAGE FLAVOR TO ANY SHADE WITH A WIRE CAGE
 GUARD & GLASS: PROTECT YOUR BULB AND ADD VINTAGE STYLE AND COLOR
 DUSK-TO-DAWN PHOTOCELL: TURNS YOUR FIXTURE ON AT DUSK AND OFF AT DAWN!

SHADE SIZES: 08" SHADE: 8"W x 08"H

1 GOOSE NECK LIGHT FIXTURE
 N.T.S



Nestico
Architect
Inc.

7-3000 Langstaff Road
 Vaughan, ON. L4K 4R7
 905.669.7000
 mail@NesticoArchitect.on.ca
 VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

GOOSE NECK LIGHT FIXTURE DETAILS

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|-------|--------------|---------|-------------|
| 2017.12.08 | N.T.S | R4 | 15624 | AD2.5 |

COLOUR SCHEDULE FOR 135 QUEEN ST. NOTL

1. HISTORICAL BUILDING:
 - A. LAP SIDING; WOODLAND CREAM, JH10-30
 - B. FASCIA; ARCTIC WHITE, JH10-20
 - C. SOFFIT; ARCTIC WHITE, JH10-20
 - D. CROWN MOULDING; ARCTIC WHITE, JH10-20
 - E. TRIM BOARDS AT CORNERS OF BUILDING; ARCTIC WHITE, JH10-20
 - F. TRIM BOARDS AT WINDOW SURROUNDS; ARCTIC WHITE, JH10-20
 - G. ROOF SHINGLES; GAF TIMBERLINE ULTRA HD, WEATHERED WOOD
 - H. COLUMNS (SUPPORTING THE ROOFING STRUCTURE OVER FRONT DECK); ARCTIC WHITE, JH10-20
 - I. STEEL ROOF, OVER DECK; CHARCOAL, QC306
 - J. WINDOW FRAMES, SASHES, STILES + SILLS; ARCTIC WHITE, JH10-20
 - K. FRONT DOOR; BENJAMIN MOORE LAFAYETTE GREEN, HC-135
 - L. FRONT SIDELIGHT FRAMES, SASHES, STILES + SILLS; ARCTIC WHITE, JH10-20

2. REMAINING PART OF BUILDING (NORTH OF HISTORICAL BUILDING)
 - N. LAP SIDING; HEATHERED MOSS, JH50-20 & COUNTRYLANE RED, JH90-20
 - O. FASCIA; SAILCLOTH, JH20-10
 - P. SOFFIT; SAILCLOTH, JH20-10
 - Q. CROWN MOULDING; SAILCLOTH, JH20-10
 - R. TRIM BOARDS AT CORNERS OF BUILDING; SAILCLOTH, JH20-10
 - S. TRIM BOARDS AT WINDOW SURROUNDS; SAILCLOTH, JH20-10
 - T. COLUMNS (SUPPORTING THE ROOFING STRUCTURE OVER COVERED AREAS); SAILCLOTH, JH20-10
 - U. METAL ROOF, THROUGHOUT; CHARCOAL, QC306
 - V. WINDOW + DOOR FRAMES, SASHES, STILES + SILLS; SAILCLOTH, JH20-10
 - W. DOORS AND SHUTTERS; BENJAMIN MOORE LAFAYETTE GREEN, HC-135

James Hardie® ColorPlus® Palette
NORTH
Effective: November 2012

* US Markets: Midwest, Northeast and Mid Atlantic
* Canada Markets: Ontario, Quebec

The following James Hardie® Siding products are available in these ColorPlus® Colors: HardiePlank® Lap Siding, HardiePanel® Vertical Siding, HardieShingle® Siding, HardieTrim® Batten Boards and Artisan® Lap Siding.

| | | | | |
|----------------------------|---------------------------|----------------------------|----------------------------|---------------------------|
| | | | | |
| Arctic White JH10-20 | Navajo Beige JH30-10 | Cobble Stone JH40-10 | Soft Green JH60-10 | Light Mist JH70-10 |
| | | | | |
| Tuscan Gold JH80-20 | Sail Cloth JH20-10 | Sandstone Beige JH30-20 | Monterey Taupe JH40-20 | Heathered Moss JH50-20 |
| | | | | |
| Chestnut Brown JH80-30 | Woodland Cream JH10-30 | Autumn Tan JH20-20 | Woodstock Brown JH30-30 | Mountain Sage JH50-30 |
| | | | | |
| Countrylane Red JH90-20 | Harris Cream JH80-10 | Khaki Brown JH20-30 | Timber Bark JH40-30 | Parkside Pine JH60-30 |
| | | | | |
| Iron Gray JH90-30 | | | | |

The following James Hardie® Products are available in these ColorPlus® Colors: HardieTrim® Boards, HardieSoffit® Panels and Artisan® Accent Trim.

| | | | | |
|-------------------------|---------------------------|-------------------------|----------------------------|----------------------------|
| | | | | |
| Arctic White JH10-20 | Sail Cloth JH20-10 | Navajo Beige JH30-10 | Autumn Tan JH20-20 | Sandstone Beige JH30-20 |
| | | | | |
| Cobble Stone JH40-10 | Monterey Taupe JH40-20 | Khaki Brown JH20-30 | Woodstock Brown JH30-30 | Timber Bark JH40-30 |

Note: Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color. Product and color availability vary by region and are subject to change.

JamesHardie 1.866.442.7343 | www.jameshardie.com

1 COLOUR SCHEDULE

N.T.S

2 COLOUR PALETTE

N.T.S



**Nestico
Architect
Inc.**

7-3000 Langstaff Road
Vaughan, ON. L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

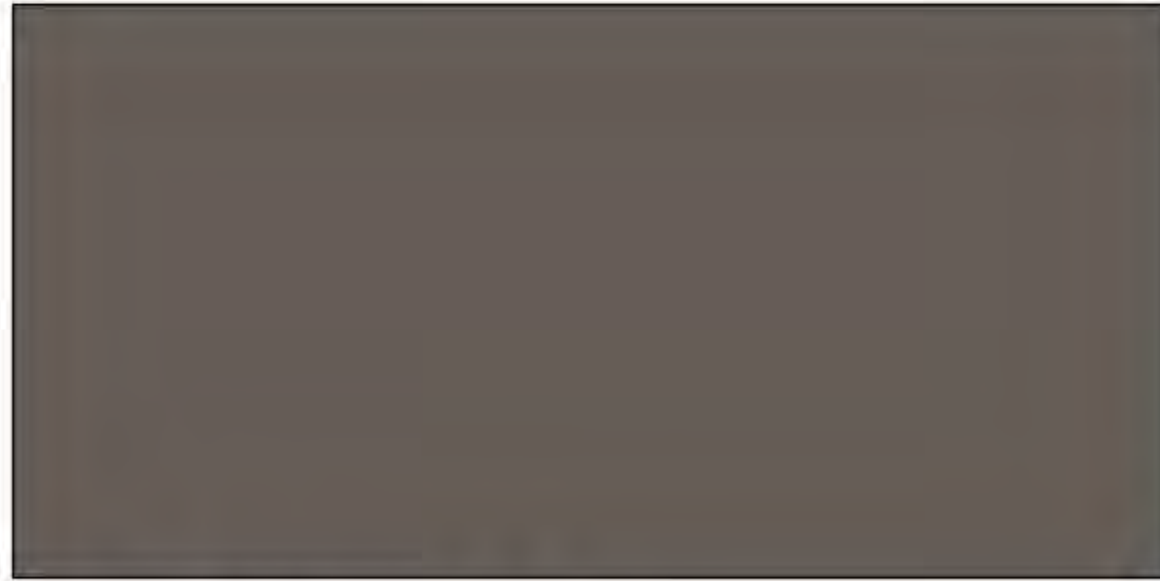
135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

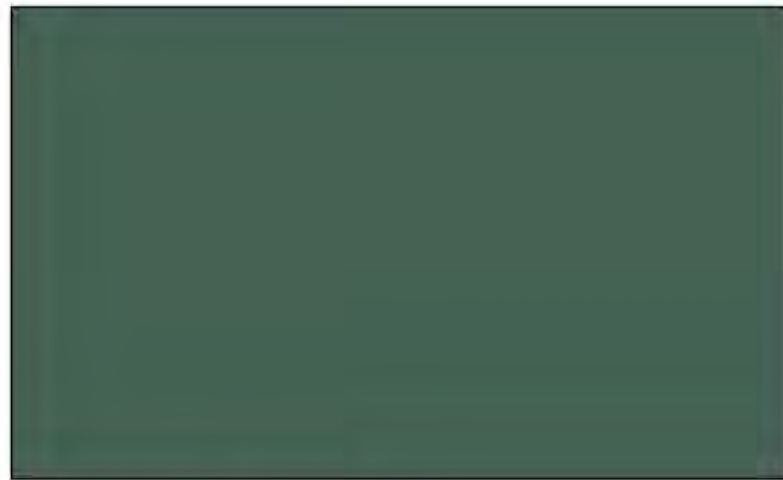
RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

COLOUR SCHEDULE & COLOUR PALETTE

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|-------|--------------|---------|-------------|
| 2017.12.08 | N.T.S | R4 | 15624 | AD2.6 |



METAL ROOF COLOUR:
CHARCOAL, QC306



BENJAMIN MOORE:
LAFAYETTE GREEN HC-135



TIMBERLINE ULTRA HD - WEATHERED WOOD



Nestico
Architect
Inc.

7-3000 Langstaff Road
Vaughan, ON. L4K 4R7
905.669.7000
mail@NesticoArchitect.on.ca
VaughanArchitect.ca

135 QUEEN STREET

Niagara-on-the-Lake, ON L0S 1J0

RE-ISSUED FOR 'SPA AMENDMENT APPLICATION'

MATERIAL AND COLOUR SAMPLES

| DATE | SCALE | REVISION NO. | JOB NO. | DRAWING NO. |
|------------|-------|--------------|---------|-------------|
| 2017.12.08 | | R4 | 15624 | AD2.7 |

GENERAL NOTES

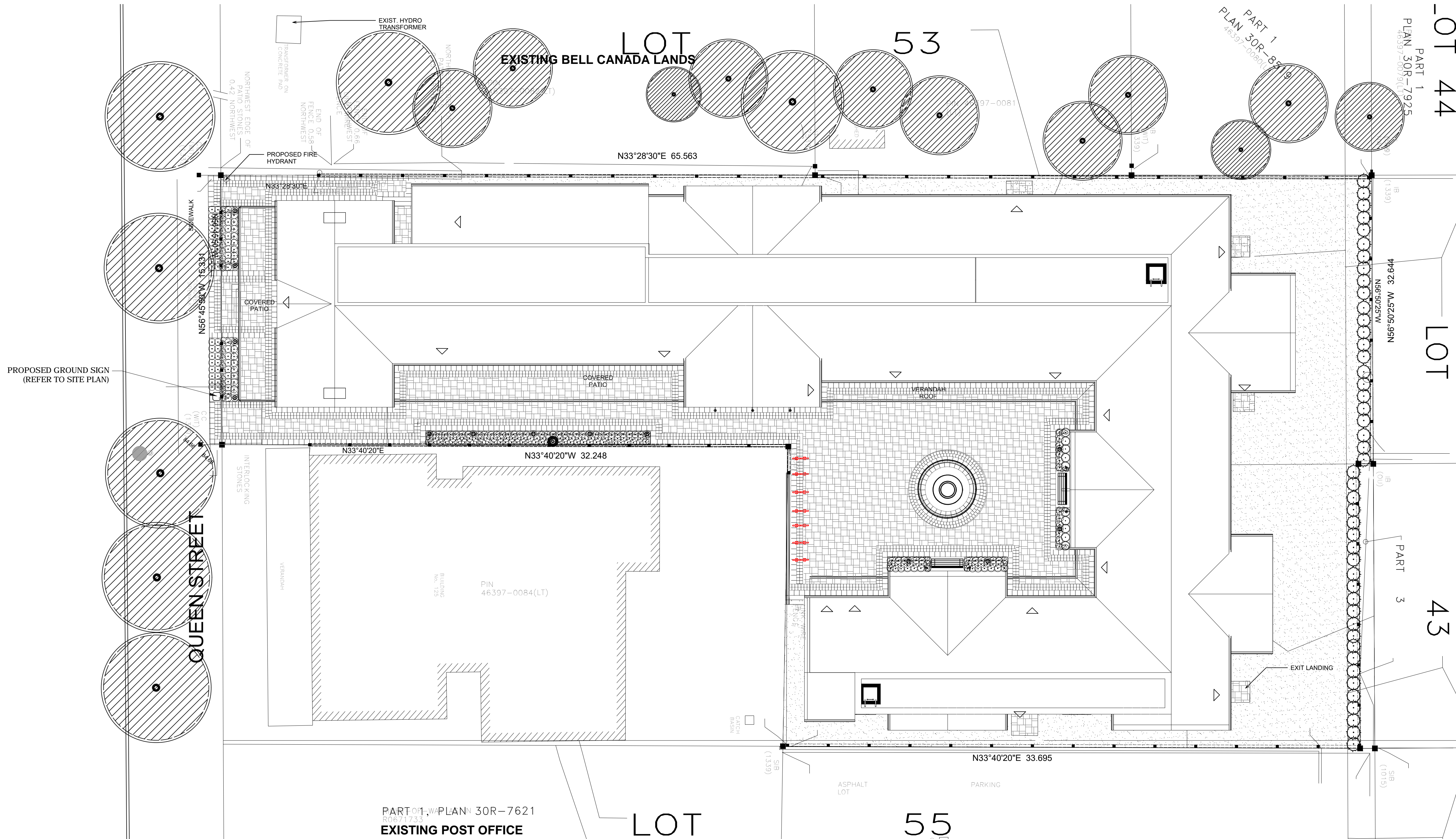
1. ALL DRAWINGS ARE IN METRIC SCALE. DIMENSIONS UNDER 1 MM ARE SHOWN AS A WHOLE NUMBER. ALL DIMENSIONS ARE GIVEN TO FACE OF CURB AND FACE OF FOUNDATION AND SITE WALLS, UNLESS OTHERWISE INDICATED.
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PROVINCIAL OR LOCAL MUNICIPAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO PROVINCIAL AND LOCAL MUNICIPAL STANDARDS AND CODES THAT PERTAIN TO THE SITE UNDER CONSTRUCTION.
3. CONTRACTOR SHALL ARRANGE FOR UTILITY STAKING PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO CONSTRUCTION TO BECOME FAMILIAR WITH EXISTING CONDITIONS. IF ANY DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS, CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
4. EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
5. CONTRACTOR SHALL PROVIDE HIS OWN LAYOUT, GRADING, STAKING, AND SURVEYING REQUIRED FOR CONSTRUCTION. REFER TO EXISTING SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION. CONTRACTOR SHALL FIELD VERIFY LAYOUT PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.

7. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE.
8. PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS BEFORE ASPHALT OR CONCRETE HAS CURED. DO NOT LEAVE ANY HOLES OPEN OVERNIGHT.
9. KEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.
10. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED MATERIALS FOR APPROVAL PRIOR TO PLACING ORDERS.
11. ALL WORK SHALL BE INSPECTED BY LANDSCAPE ARCHITECT PRIOR TO PAYMENT APPROVAL.
12. CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT SITE CONDITIONS TO THE LANDSCAPE ARCHITECT, PRIOR TO OBTAINING APPROVAL OF SUBSTANTIAL COMPLETION.
13. AT ALL EDGES OF EXISTING SIDEWALK OR CURB AGAINST WHICH NEW CONCRETE IS TO BE PLACED, SAWCUT AND REMOVE EXISTING CONCRETE BACK TO THE NEAREST CONTRACTION JOINT TO PROVIDE A SMOOTH TRANSITION TO THE NEW CONCRETE.
14. INSTALL ISOLATION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE PAVEMENT.

LANDSCAPE NOTES

1. ALL PLANTING AND INSTALLATION IN RIGHT OF WAY SHALL MEET LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
2. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE DAMAGE TO COMPLETED LAWN AND PLANT MATERIAL INSTALLATION.
3. IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED ON THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.
4. IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO START OF WORK, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
5. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING OF SUBGRADE BELOW LAWN AND LANDSCAPE AREAS.
6. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RESPREADING TOPSOIL, FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
7. LANDSCAPE CONTRACTOR SHALL PROVIDE SOIL TEST ANALYSIS FOR ALL SOIL USED ON PROJECT. COPIES OF SOIL ANALYSIS SHALL BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO ANY LANDSCAPE CONSTRUCTION.
8. PRIOR TO SPREADING TOPSOIL, LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BY EARTHWORK CONTRACTOR BEFORE PLACING ANY TOPSOIL.
9. BEFORE PLANT MATERIAL INSTALLATION BEGINS, STAKE LOCATIONS OF NEW PLANT MATERIAL AND NOTIFY LANDSCAPE ARCHITECT FOR APPROVAL. NOTIFY LANDSCAPE ARCHITECT ONE WEEK MINIMUM PRIOR TO TENTATIVE DATE OF STAKING.
10. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.

11. ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
12. ALL PLANT MATERIAL SHALL BE GROWN IN CLAY SOIL. ALL SHRUBS SHALL BE GROWN IN FIBRE POT CONTAINERS. ALL TREES SHALL BE NURSERY GROWN AND TRANSPLANTED USING THE BALL AND BURLAP METHOD.
13. ALL SHRUBS AND CONIFEROUS PLANTINGS SHALL BE INSTALLED IN CONTINUOUS PLANTING BEDS.
14. ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER. BORDER SHALL BE CUT 80MM DEEP AT A 45° ANGLE, SO THERE IS A CLEAR AND WELL DEFINED SEPARATION BETWEEN THE PLANTING BEDS AND SODDED AREAS.
15. ALL SHRUB BED AREAS SHALL HAVE A MINIMUM 80MM THICK LAYER OF LANDSCAPE MULCH.
16. PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL LARGE BED AREAS.
17. WHERE PROJECT SITE IS TO BE SODDED, CONTRACTOR SHALL PROVIDE NEW TOPSOIL AND SOD IN ANY ADJACENT RIGHT OF WAY FROM PROPERTY LINE TO BACK OF MUNICIPAL CURB.
18. CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
19. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR TO ENSURE PROPER WATERING OF PLANTED AND SEEDED AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS BETWEEN PLANTS AND SPRINKLER HEADS AND LINES.



CLIENT

NOT FOR CONSTRUCTION

DRAWINGS LIST

| | |
|------|-----------------------|
| L100 | COVER SHEET |
| L101 | PLANTING PLAN |
| L200 | DETAIL REFERENCE PLAN |
| L301 | DETAILS - PLANTING |
| L302 | DETAILS - PLANTING |
| L303 | DETAILS - LIGHTING |
| L304 | DETAILS - LANDSCAPE |

| | | | |
|-----|--------------------------------|------------|----|
| 05 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 04 | REVISED PER TOWN COMMENTS | 2015-04-30 | JD |
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |
| no. | revision | date | by |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

terraplan
LANDSCAPE ARCHITECTS

20 Champlain Blvd., Suite 102
Toronto, Ontario, M5H 2Z1,
Canada Tel: (416) 638-4911
Fax: (416) 638-4701

Email: terraplan@terraplan.ca Web: www.terraplan.ca

PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

PROJECT
LANDSCAPE PLAN - COVER SHEET

| | |
|--------------|-----------|
| DRAWING | |
| DRAWN: | JD |
| CHECKED: | JD |
| SCALE: | 1:125 |
| DATE: | SEPT 2014 |
| PROJECT NO.: | 14-180 |





CLIENT

NOT FOR CONSTRUCTION

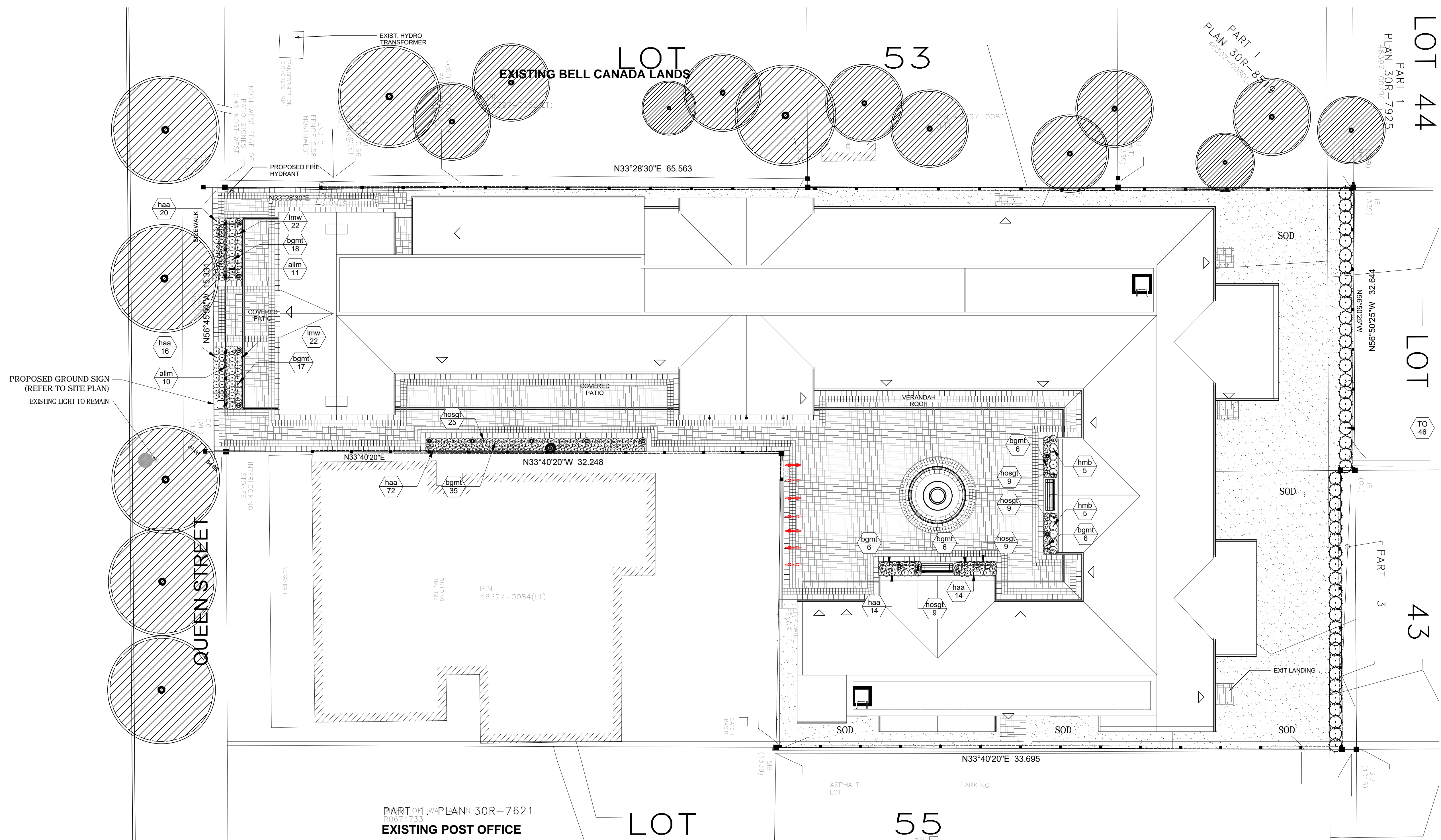
PLANT SCHEDULE QUEEN STREET

| CONIFERS | CODE | QTY | BOTANICAL NAME | COMMON NAME | B&B | CAL. | REMARKS |
|----------|------|-----|--------------------|-------------|-------|-------|---------|
| | TO | 46 | Thuja occidentalis | White Cedar | B & B | 2M HT | Native |

| SHRUBS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | HT. | SPACING | REMARKS |
|--------|------|-----|------------------------------------|----------------------------|-------|-------|---------|---------|
| | bgmt | 94 | Buxus x 'Green Mountain' | Boxwood | Cont. | 60 cm | 0.40m | |
| | haa | 140 | Hydrangea arborescens 'Annabelle' | Annabelle Smooth Hydrangea | Cont. | 60 cm | 0.40m | |
| | hmb | 10 | Hydrangea macrophylla 'Baltzer' TM | Endless Summer | Cont. | 60 cm | 0.50m | |

| ANNUALS/PERENNIALS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | HT. | SPACING | REMARKS |
|--------------------|------|-----|------------------------|------------------|------------|-----|---------|---------|
| | allm | 21 | Allium sphaerocephalum | Drumstick Allium | 1 gal. pot | | 0.40m | |

| GROUND COVERS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | O.C. | SPACING | REMARKS |
|---------------|-------|-----|--------------------------------|-------------------------|------------|------|---------|---------|
| | hosgt | 61 | Hosta undulata 'Golden Tiara' | Variegated Hosta | 1 gal. pot | | 300mm | |
| | lmw | 44 | Lamium maculatum 'White Nancy' | White Nancy Dead Nettle | 2 gal. pot | | 300mm | |



| no. | revision | date | by |
|-----|--------------------------------|------------|----|
| 05 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 04 | REVISED PER TOWN COMMENTS | 2015-04-30 | JD |
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

Signed _____ date _____

terraplan
LANDSCAPE ARCHITECTS

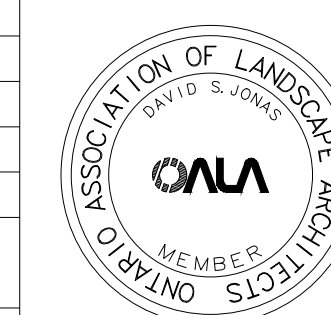
20 Champlain Blvd., Suite 102
Toronto, Ontario, M5H 2Z1,
Canada Tel: (416) 638-4911
Fax: (416) 638-4261

Email: terraplan@terraplan.ca Web: www.terraplan.ca

PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

PROJECT
PLANTING PLAN

| | |
|--------------|-----------|
| DRAWING | |
| DRAWN: | JD |
| CHECKED: | JD |
| SCALE: | 1:125 |
| DATE: | SEPT 2014 |
| PROJECT NO.: | 14-180 |

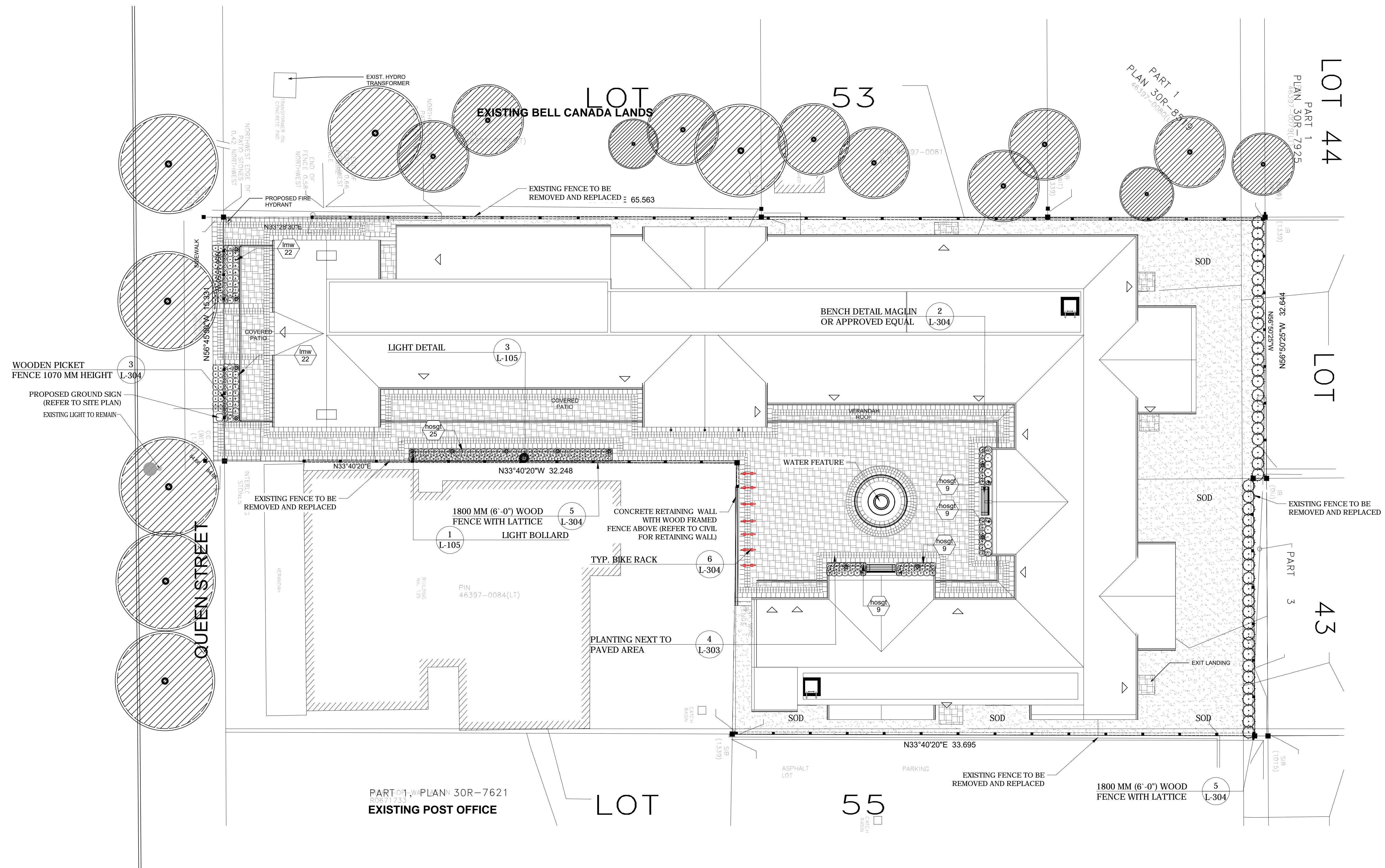


SHEET NO.: **L-101** April 30, 2015



CLIENT

NOT FOR CONSTRUCTION



| no. | revision | date | by |
|-----|--------------------------------|------------|----|
| 05 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 04 | REVISED PER TOWN COMMENTS | 2015-04-30 | JD |
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

Signed: _____ date: _____

terraplan
LANDSCAPE ARCHITECTS
20 Champlain Blvd., Suite 102
Toronto, Ontario, M5H 2Z1
Canada Tel: (416) 638-4911
Fax: (416) 638-4201

Email: terraplan@terraplan.ca Web: www.terraplan.ca

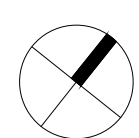
PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

PROJECT
DETAIL REFERENCE PLAN

| | |
|--------------|-----------|
| DRAWING | |
| DRAWN: | JD |
| CHECKED: | JD |
| SCALE: | 1:125 |
| DATE: | SEPT 2014 |
| PROJECT NO.: | 14-180 |



SHEET NO.: **L-200** April 30, 2015





CLIENT

NOT FOR CONSTRUCTION

LANDSCAPE SPECIFICATIONS

CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FOR STAKE OUTS PRIOR TO ANY EXCAVATION OR PLANTING.

ROUGH GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERN AS INDICATED ON DRAWINGS. ROUND SMOOTHLY ALL TOPS AND TOES OF SLOPES. COMPACT ALL AREAS TO 95% STANDARD PROCTOR DENSITY UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS DETAILED.

FINE GRADING

FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING, UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 33 1/3% (3:1).

TOPSOIL FOR SODDED & SEEDED AREAS

Mixture of mineral particulates, micro organisms and organic matter which provides suitable medium for supporting intended plant growth.

- Soil texture based on The Canadian System of Soil Classification, to consist of 20 to 70% sand and contain 5 to 10% organic matter by weight.
- Fertility: major soil nutrients present in following ratios:
 - Nitrogen (N): 20 to 40 micrograms of available N per gram of topsoil.
 - Phosphorus (P): 10 to 20 micrograms of phosphate per gram of topsoil.
 - Potassium (K): 80 to 120 micrograms of potash per gram of topsoil.
 - Calcium, magnesium, sulphur and micro-nutrients present in balanced ratios to support germination and/or establishment of intended vegetation.
- Ph value: 5.5 to 7.5.
- Contain no toxic elements or growth inhibiting materials.
- Free from:
 - Debris and stones over 25 mm diameter.
 - Course vegetative material, 10 mm diameter and 100 mm length, occupying more than 2% of soil volume.
- Consistency: friable when moist.
- Stocked piled on site 'topsoil' must be tested by A&L Canada Laboratories East (519-457-2575), provide results for tests: STP1 and STEXT and a method of amending the soil to Terraplan for approval. All topsoil must meet the above specifications.

SPREADING OF TOPSOIL

SCARIFY THE SUBSOIL PRIOR TO THE SPREADING OF THE TOPSOIL. REMOVE ALL DEBRIS AND LEAVE A FINE-TEXTURED EVEN SURFACE. ALL TOPSOIL TO BE IMPORTED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. OBTAIN APPROVAL FOR THE QUALITY OF ANY IMPORTED TOPSOIL BEFORE DELIVERY TO THE SITE.

SOD

USE SOD WHICH CONFORMS WITH THE SPECIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 100MM (4") OF TOPSOIL, AND SHALL BE SODDED WITH #1 BLUEGRASS - FESCUE SOD. NO SOD SLOPES ARE TO EXCEED 3:1. SLOPE IN EXCESS OF 4:1 TO BE PEGGED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING ALL SODDED AND SEEDED AREAS AT LEAST TWO (2) TIMES BEFORE FINAL INSPECTION FOR ACCEPTANCE OF THE LANDSCAPE WORK.

MINERAL FERTILIZER

APPLY THE FOLLOWING MINERAL FERTILIZER UNLESS SOILS TESTS SHOW OTHER REQUIREMENTS FOR NITROGEN AND POTASH:

1. SODDED AREAS: INITIAL PLANTING: 20% NITROGEN, 0% PHOSPHORUS AND 15% POTASH (20-0-15) AT THE RATE OF 4.5 KG OVER 100 SQM (10 LBS OVER 1000 SQ. FT.). ON-GOING TURF MAINTENANCE, APPLY 16-0-8 (SUMMER AND FALL) APPLY AFTER THE 8th WEEK.

2. PLANTING BEDS - 7% NITROGEN, 7% PHOSPHORUS AND 7% POTASH (7-7-7) AT THE RATE OF 40 GRAMS (4 OZ.) FOR EVERY BUSH OF TOPSOIL.

PREPARATION OF PLANTING BEDS

ALL PLANT BEDS TO BE CONTINUOUS. EXCAVATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS, MIN 600mm (2'0"). BACK FILL ALL PLANTING BEDS WITH A SOIL MIXTURE CONSISTING OF SIX (6) PARTS OF SAND LOAM, ONE (1) PART OF FINELY PULVERIZED PEAT MOSS, TWO (2) PARTS OF WELL-ROTTED MANURE AND THE MINERAL FERTILIZER AS SPECIFIED ABOVE. ALSO ADD .58 KILOS BONE MEAL/CUBIC METER OF PLANTING SOIL (1 LB./CUBIC YARD). PREPARE THE PLANTING BEDS FOR PLANTING BEFORE THE DELIVERY OF THE PLANT MATERIAL TO THE SITE. IF THE SOIL IS CLAY OR WET IN NATURE, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS OF A SUITABLE SOIL MIXTURE OR DRAINAGE DETAIL. FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.

PLANT MATERIAL

ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADES ASSOCIATION (LOHTA) FOR SIZE AND SPECIES. ALL SHRUB AND TREE MATERIAL SHALL BE CONTAINER GROWN, POTTED, S/B OR B/B, UNLESS OTHERWISE NOTED. SAME ROOT PLANTING SHALL BE ACCEPTABLE FOR CERTAIN SPECIES DURING EARLY SPRING OR LATE FALL PLANTING SEASON. CONTRACTOR SHALL MAKE REQUESTS FOR ROOT CONDITION SUBSTITUTION IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. ALL PLANT MATERIAL TO BE CLAY GROWN STOCK UNLESS OTHERWISE NOTED.

SODDED AREAS AND PLANTING BED EDGING

CONTRACTOR TO INSTALL NEW SOD AND NEW TOPSOIL AS PER SPECIFICATIONS AND GENERAL NOTES THROUGHOUT THE SITE AS DESIGNED. NEW TOPSOIL AND SOD SHALL EXTEND THROUGH THE MUNICIPAL BOULEVARD TO THE REAR OF THE MUNICIPAL CURB.

ALL PLANTING BEDS THAT ARE SURROUNDED BY SOD SHOULD BE CUT AND EDGED AT A 45° ANGLE, SO THERE IS A CLEAR AND WELL DEFINED SEPARATION BETWEEN THE PLANTING BEDS AND SODDED AREAS.

PLANT MATERIAL INSTALLATION

ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED AS DETAILED AND AS SHOWN ON THE PLANTING PLAN. ALL BEDS TO RECEIVE A COVER OF CLEAN MULCH TO A DEPTH OF 75mm (3"). FOR GUYING AND STAKING TREES, REFER TO PLANTING DETAILS. WRAP ALL DECIDUOUS TREES UNDER EXPERIENCED SUPERVISION ONLY TO THE SPECIFICATIONS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADES ASSOCIATION (LOHTA). PLANT MATERIAL SIZES AND CONDITIONS ARE TO BE AS INDICATED ON THE LANDSCAPE DRAWING.

THE INDIVIDUAL PLANT GROUPING TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SUPERSEDES THE ESTIMATED QUANTITY ON THE MASTER PLANT LIST. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING BEFORE COMMENCING ANY WORK. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF DISCREPANCIES.

* MULCH - SHREDDED PINE MULCH BY "ORO BARK" OR APPROVED EQUAL. LANDSCAPE ARCHITECT TO APPROVE MULCH BEFORE INSTALLATION. GENERAL MAINTENANCE.

PROPER MAINTENANCE PROCEDURES ARE TO BE FULLY ADMINISTERED FOR ALL NEWLY CONSTRUCTED LANDSCAPE WORK, IN ACCORDANCE WITH LANDSCAPE ONTARIO SPECIFICATIONS (SECTION 1E - MAINTENANCE WORK). THIS SHALL APPLY ONLY DURING THE CONSTRUCTION PERIOD, UNLESS OTHERWISE SPECIFIED. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SOD AND PLANTING UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

RODENT PROTECTION - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FOR WINTER PROTECTION AND FROM RODENT INJURY FOR THE DURATION OF THE GUARANTY PERIOD. PROTECTIVE GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS TO BE 150MM DIA. PVC PIPE OR AS MUNICIPAL GUIDELINES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF THE MULCH AND SHOULD BE PLACED A MINIMUM OF 50MM (2") OUT FROM THE TREE TRUNK ON ALL SIDES.

ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA, TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

GENERAL REQUIREMENTS

USE ABOVE SPECIFICATIONS IN CONJUNCTION WITH THE GENERAL LANDSCAPE SPECIFICATIONS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADES ASSOCIATION (LOHTA) AND THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. USE ONLY PLANT MATERIAL, TRUE TO NAME, SIZE AND GRADE AS SPECIFIED ON PLANTING PLAN; PROVIDE SUFFICIENT LABELS OR MARKINGS TO INDICATE CLEARLY THE VARIETY, SIZE AND GRADE OF EACH SPECIMEN OR BUNDLE.

OBTAIN APPROVAL FOR SUBSTITUTIONS AS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK GROWN UNDER PROPER HORTICULTURAL PRACTICES, VIABLE, FREE FROM PEST AND DISEASE AND UNDAMAGED. CHECK LOCATIONS AND OBTAIN STAKEOUTS OF ALL UTILITY LINES BEFORE EXCAVATION. OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCEMENT OF CONSTRUCTION. REPORT IN WRITING ANY DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO THE LANDSCAPE ARCHITECT BEFORE THE END OF THE BIDDING PROCESS AND COMMENCEMENT OF CONSTRUCTION. THESE SPECIFICATIONS MAY BE SUPERSEDED BY ADDITIONAL SPECIFICATIONS SET OUT IN THE TENDER DOCUMENTS. CONTRACTOR TO REVIEW ALL DOCUMENTS.

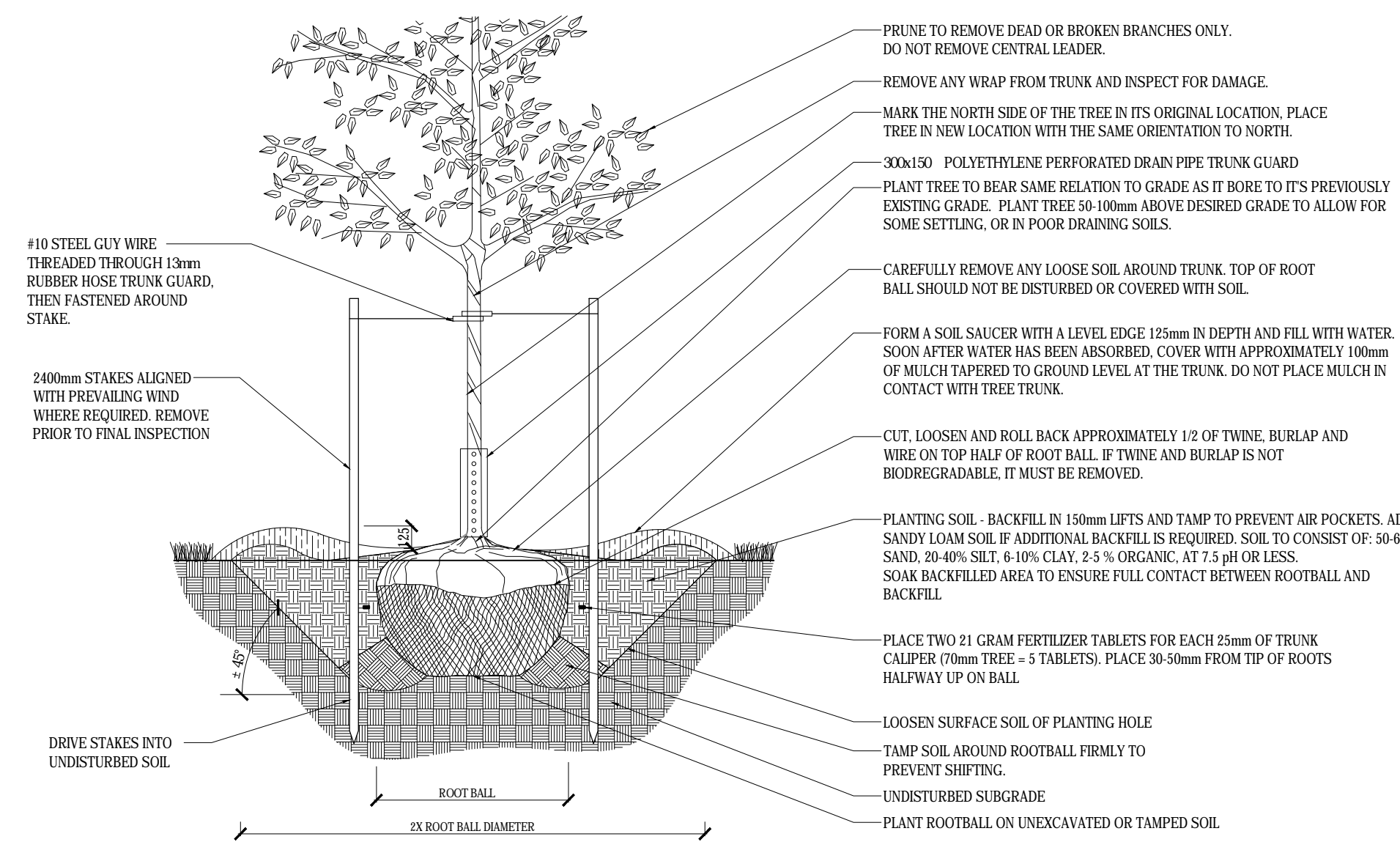
GUARANTEE PERIOD

PROVIDE ONE FULL YEAR GUARANTEE ON ALL LANDSCAPE WORK FROM DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. GUARANTEE PERIOD MAY BE EXTENDED TO TWO FULL YEARS DEPENDING ON MUNICIPAL STANDARDS. CONTRACTOR TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT.

1 LANDSCAPE SPECIFICATIONS

1:20

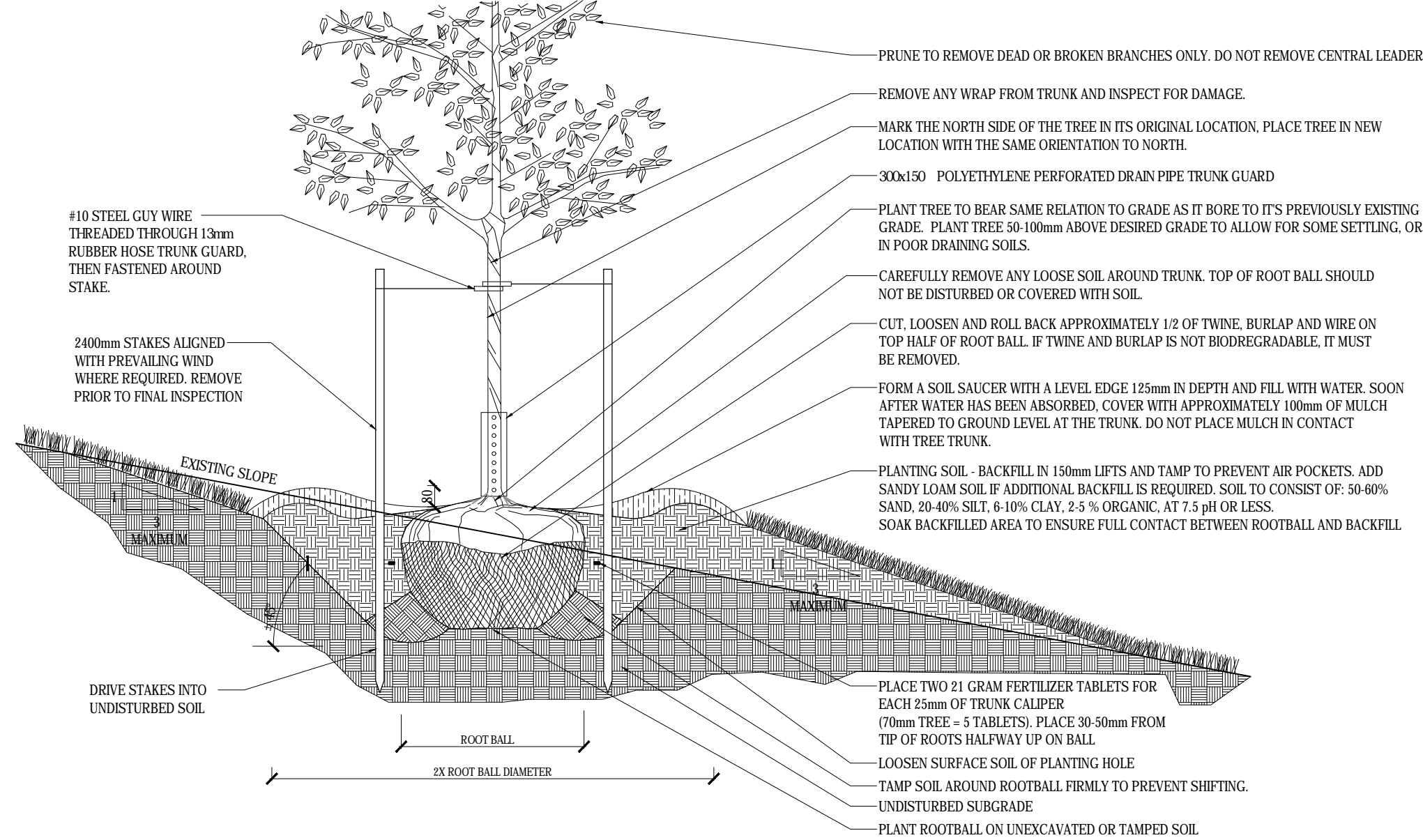
P-2014-14.180-12



2 PLANT MATERIAL INSTALLATION

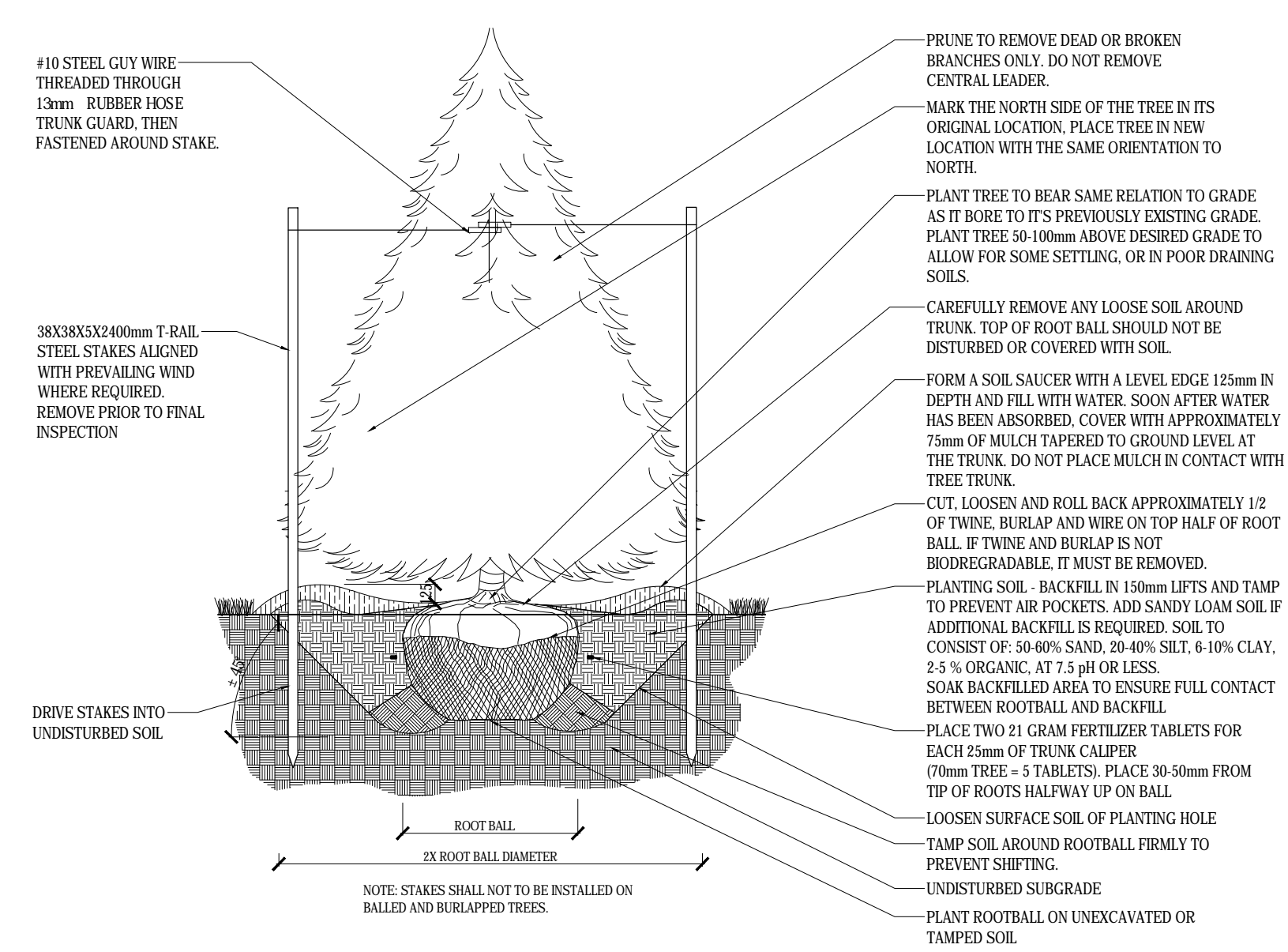
1:20

P-2014-14.180-13



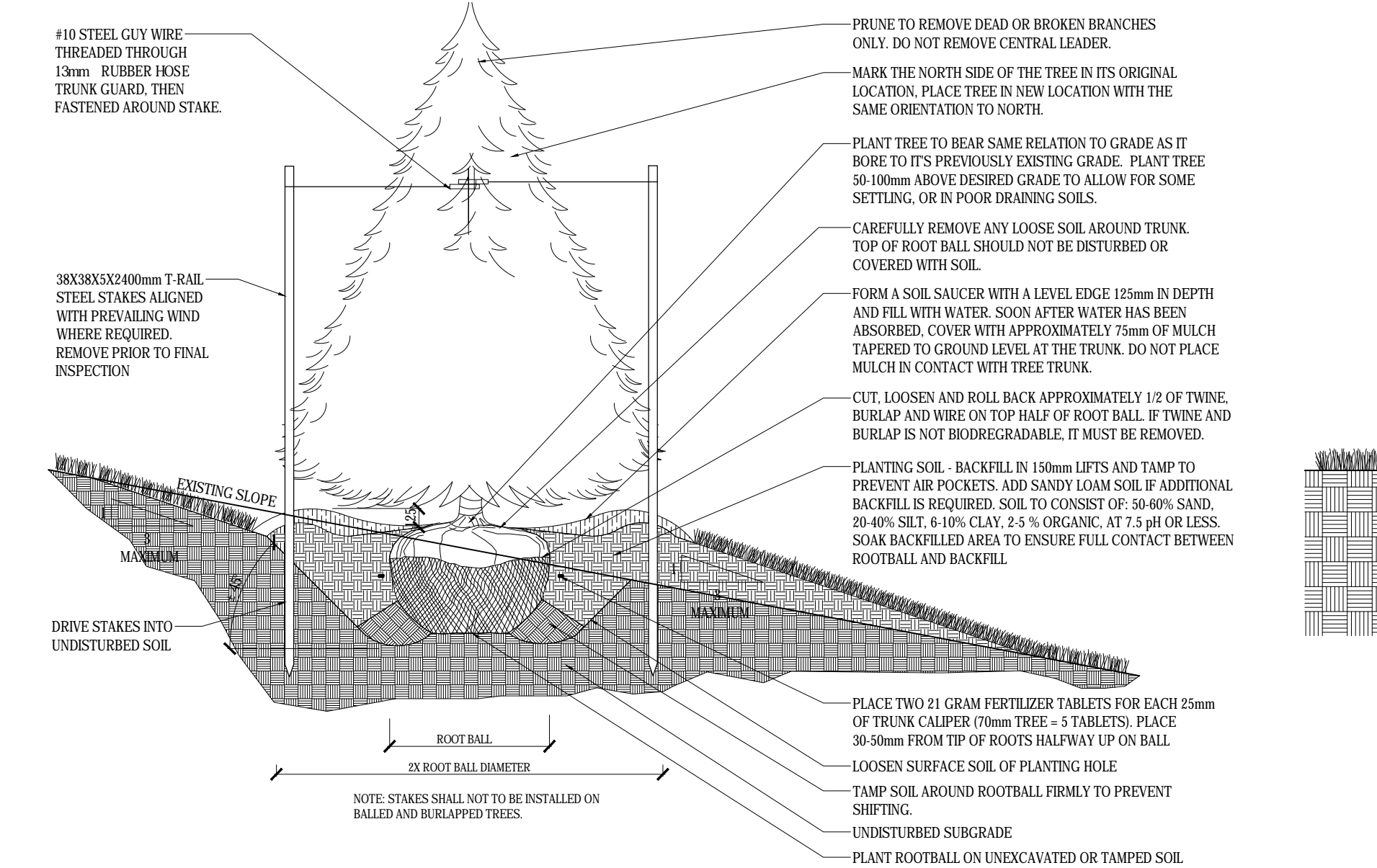
3 STAKED B&B CONIFEROUS TREE PLANTING DETAIL

SCALE=NO SCALE



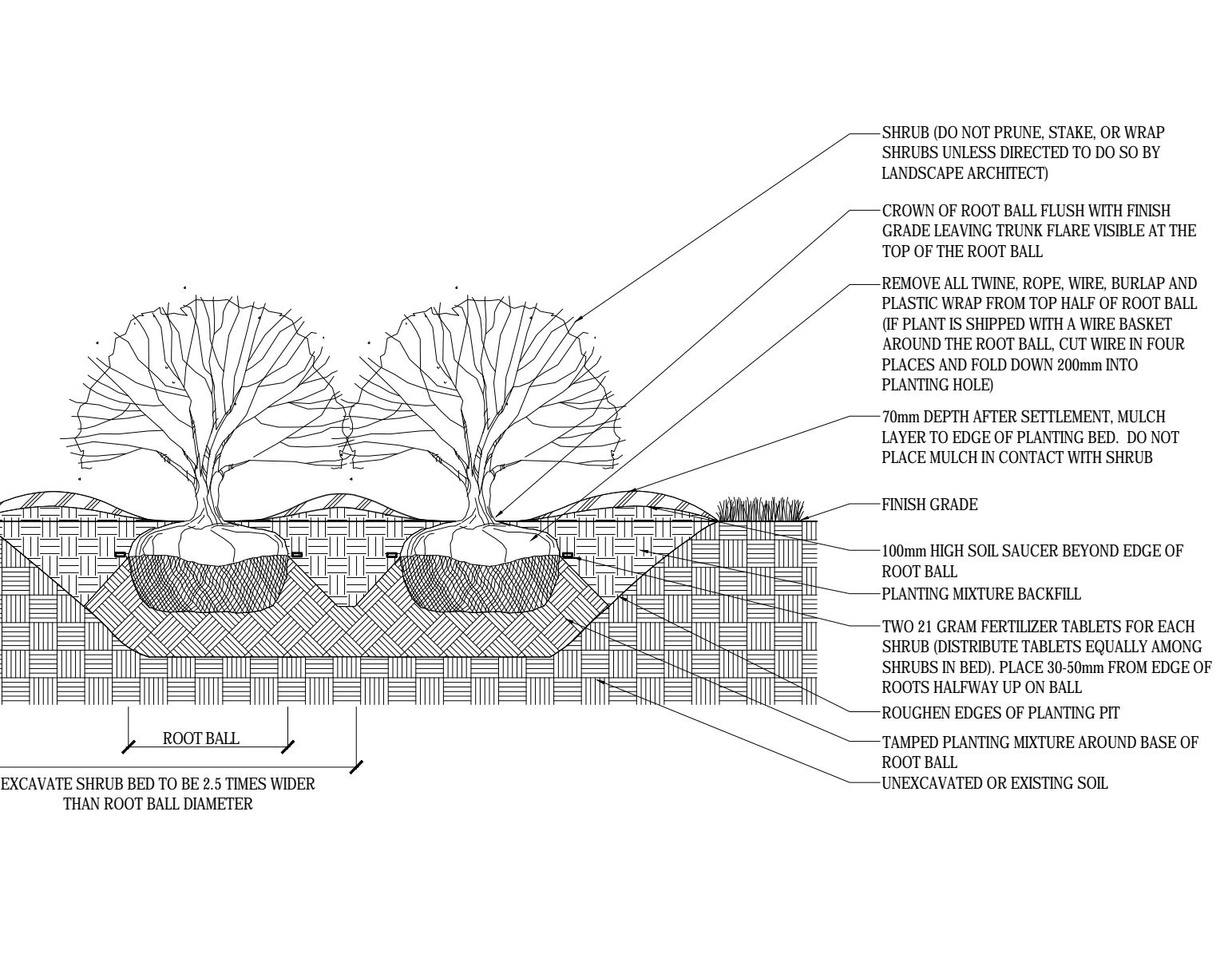
3 STAKED B&B DECIDUOUS TREE INSTALLATION DETAIL

SCALE=NO SCALE



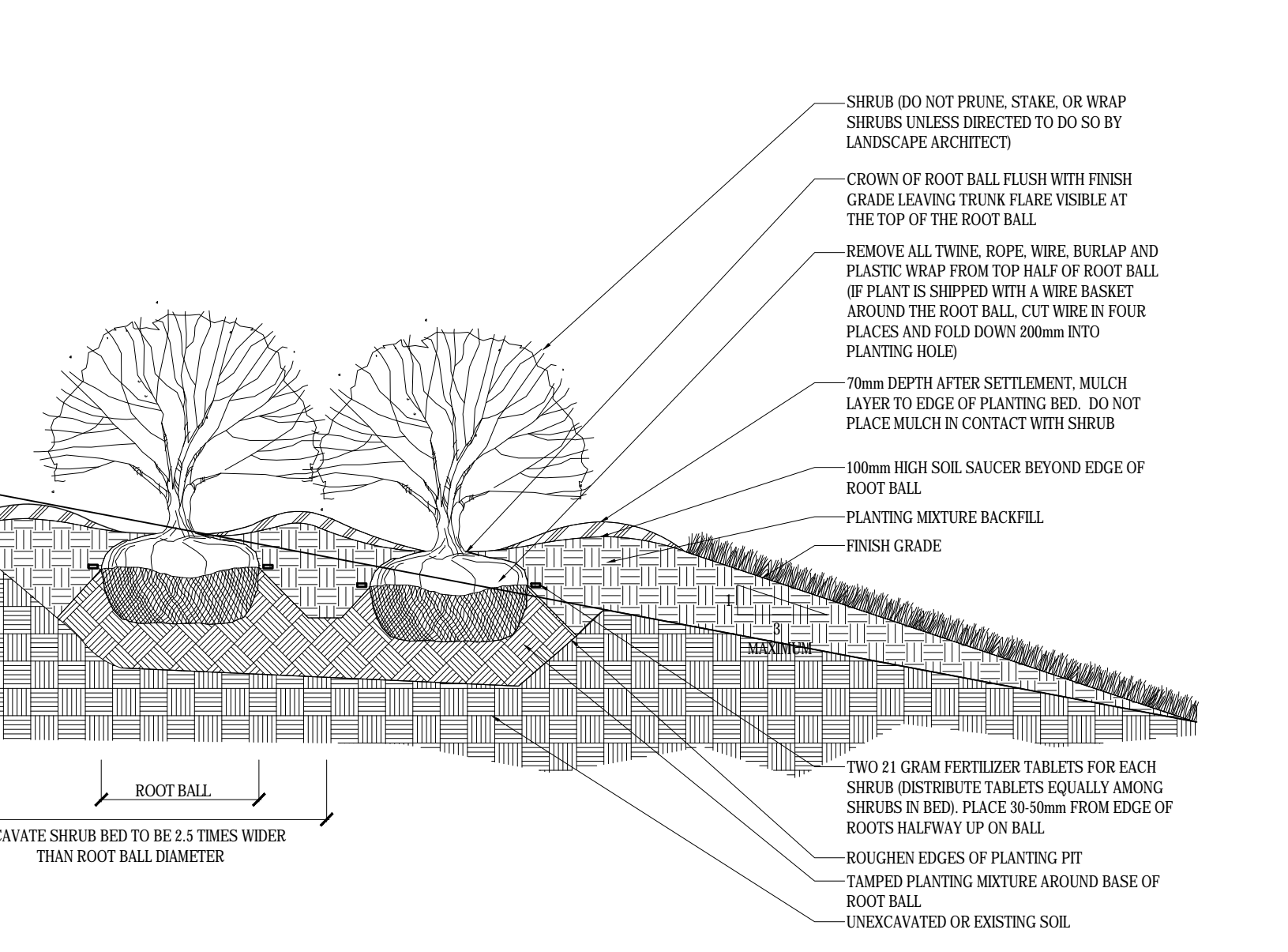
4 STAKED B&B TREE SLOPED INSTALLATION DETAIL-OV SLAB

SCALE=NO SCALE



5 STAKED B&B CONIFEROUS TREE PLANTING DETAIL

SCALE=NO SCALE



6 STAKED B&B CONIFEROUS TREE SLOPED PLANTING DETAIL

SCALE=NO SCALE

7 B&B SHRUB BED PLANTING DETAIL

SCALE=NO SCALE

8 B&B SHRUB SLOPED BED PLANTING DETAIL

SCALE=NO SCALE

| NO. | REVISION | DATE | BY |
|-----|--------------------------------|------------|----|
| 05 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 04 | REVISED PER TOWN COMMENTS | 2015-04-30 | JD |
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____



Email: terraplan@terraplan.ca Web: www.terraplan.ca

PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

LANDSCAPE DETAILS

DRAWING: _____
DRAWN: JD
CHECKED: JD
SCALE: NTS
DATE: SEPT 2014
PROJECT NO.: 14-180



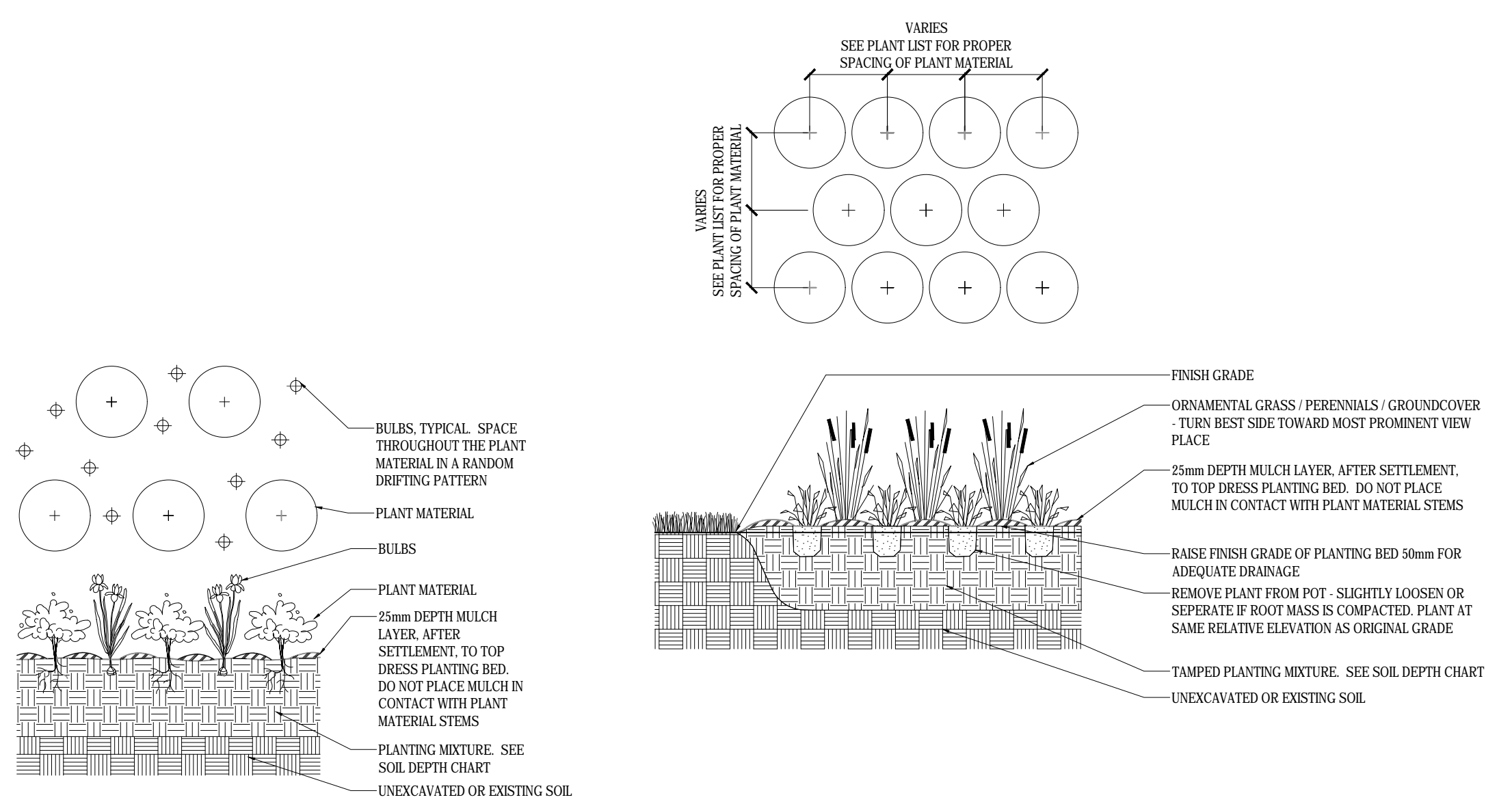
SHEET NO.: L-301

April 30, 2015



CLIENT

NOT FOR CONSTRUCTION



1 BULB PLANTING DETAIL
SCALE=NO SCALE

2 GROUND COVER PLANTING
1:20 P-2014-14.180-14

SEEDING AND HYDROSEEDING SPECIFICATIONS

AREAS TO BE SEEDED OR HYDROSEEDED SHALL RECEIVE AN APPLICATION OF SEED AT THE RATE AS SPECIFIED ON THE SEED MIXTURE DETAILS.

FERTILIZER SHALL BE COMBINED WITH HYDROSEED MIX AT THE FOLLOWING RATE:

RATE PER HECTARE:

| | |
|--------------------------------------|-------|
| 5-20-20 ANALYSIS | 450KG |
| 32-0-0 ANALYSIS (SULFUR COATED AREA) | 115KG |
| 0-40-0 ANALYSIS | 225KG |

HYDRAULIC MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE APPLIED AT THE RATE OF 200KG PER HECTARE. TO BE APPLIED BY HAND HELD HOSSING AND WALKING THE SITE FOR CONSISTENCY. IN ALL APPLICATIONS AFTER PLANT INSTALLATION.

THE CONTRACTOR SHALL NOT CARRY OUT THE WORK UNDER ADVERSE WEATHER CONDITIONS SUCH AS HIGH WIND, FROZEN GROUND OR GROUND COVERED WITH SNOW, ICE OR STANDING WATER.

A SOIL TEST SHOULD BE PERFORMED BY A COMPETENT HYDROSEEDING CONTRACTOR TO VERIFY MIXTURE AND PERCENTAGES REQUIRED.

PREPARATION:

GRADE SUB-GRADE. ELIMINATE UNEVEN AREAS AND LOW SPOTS. ENSURE POSITIVE DRAINAGE. REMOVE DEBRIS, ROOTS, BRANCHES, STONES IN EXCESS OF 50MM DIAMETER AND OTHER DELETERIOUS MATERIALS. REMOVE SUBSOIL THAT HAS BEEN CONTAMINATED WITH OIL, GASOLINE OR CALCIUM CHLORIDE. DISPOSE OF REMOVED MATERIAL AS DIRECTED BY LANDSCAPE ARCHITECTS.

GRADE SUB-GRADE FOR HYDRO SEEDING TO A UNIFORM SURFACE AND REMOVE VEGETATION WHICH MAY INTERFERE WITH SEEDING OPERATIONS. LOOSEN SOIL TO DEPTH OF 25MM MINIMUM AND REMOVE STONES AND FOREIGN MATERIAL WHICH PROTRUDE MORE THAN 75MM ABOVE THE SURFACE.

ENSURE OPTIMUM SOIL MOISTURE CONTENT FOR SEED GROWTH PRIOR TO SCARIFICATION AND SEEDING.

USE "SOIL GUARD" BONDED FIBRE MATRIX BY WEHERRHAUSEL OR SIMILAR APPROVED SOIL STABILIZER FOR ALL SLOPE CONDITIONS.

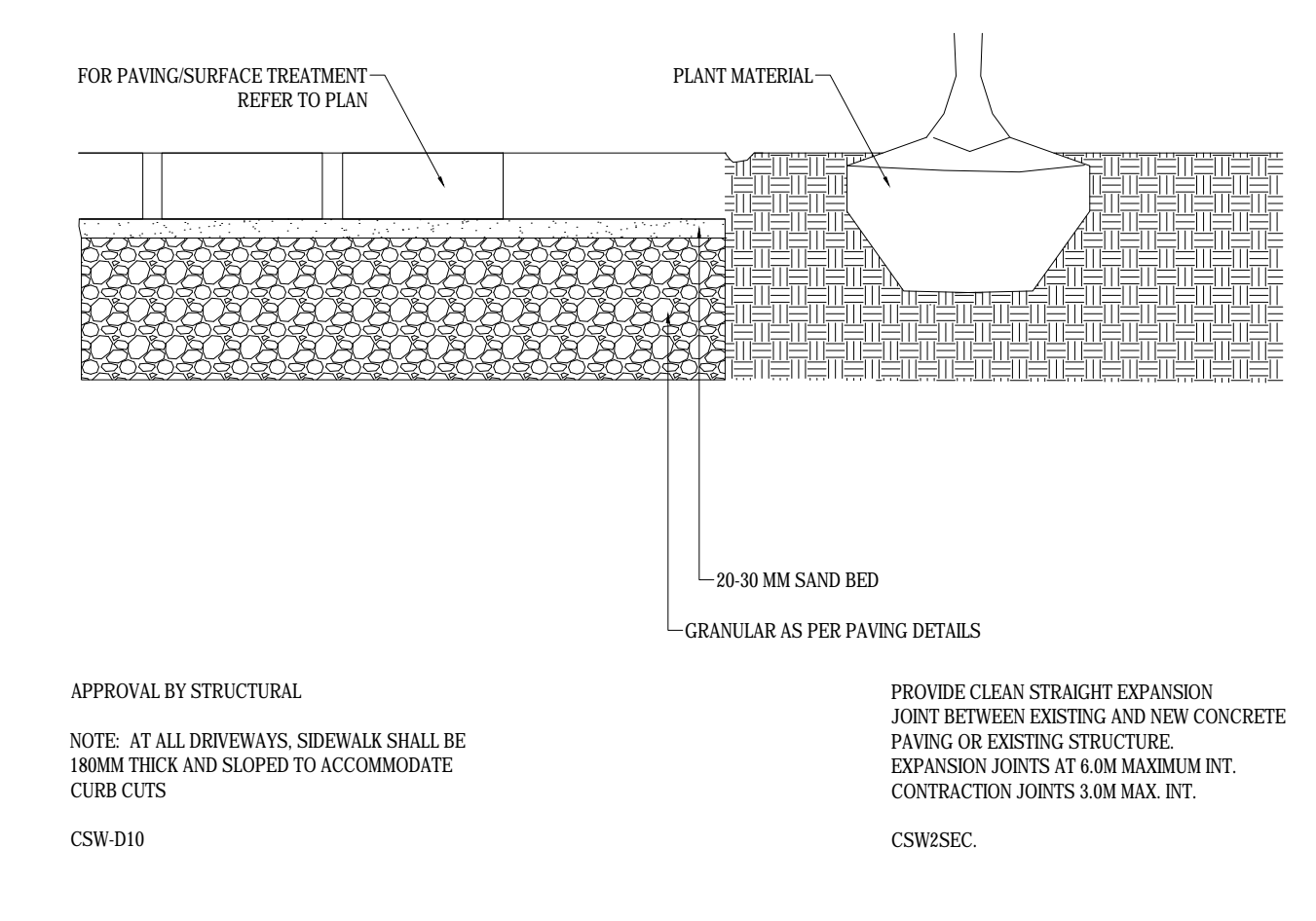
ALL AREAS TO BE HYDROSEEDED TO RECEIVE 300mm OF TOPSOIL.

MAINTENANCE:

SEEDED AREAS TO BE MAINTAINED BY CONTRACTOR ENSURING ADEQUATE WATER, FERTILIZER, MAINTENANCE AND REPAIR UNTIL SEEDED AREAS ARE PROPERLY ESTABLISHED. AREAS SEEDED BY FALL WILL BE ACCEPTED IN FOLLOWING SPRING. ONE MONTH AFTER START OF GROWING SEASON PROVIDED ACCEPTANCE CONDITIONS ARE FULFILLED.

NOTE: SEED MIX AND RATE IS SUBJECT TO CHANGE. LANDSCAPE ARCHITECT TO CONFIRM TBING, EXISTING CONDITIONS, AND SEED MIXES WITH THE TOWN OF NIAGARA ON THE LAKE PARKS DIVISION IN WRITING PRIOR TO SEEDING OPERATIONS.

3 SEEDING AND HYDROSEEDING SPECIFICATIONS
1:20 P-2014-14.180-19



4 PLANTING NEXT TO PAVED AREA
SCALE=1:1

October 29, 2013 11:02 a.m. I:\01-PROJECTS\2014\14.180 QUEEN STREET SOLMAR DEVELOPMENT CAD\01 CURRENT\01 SITE PLAN\01 SITE PLAN.dwg L:2005.DWG

| | | | |
|-----|--------------------------------|------------|----|
| 05 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 04 | REVISED PER TOWN COMMENTS | 2015-04-30 | JD |
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |
| no. | revision | date | by |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

terraplan
LANDSCAPE ARCHITECTS
20 Champlain Blvd., Suite 102
Toronto, Ontario M5H 2Z1
Canada Tel: (416) 638-4911
Fax: (416) 638-4261

Email: terraplan@terraplan.ca Web: www.terraplan.ca

PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

PROJECT
LANDSCAPE DETAILS

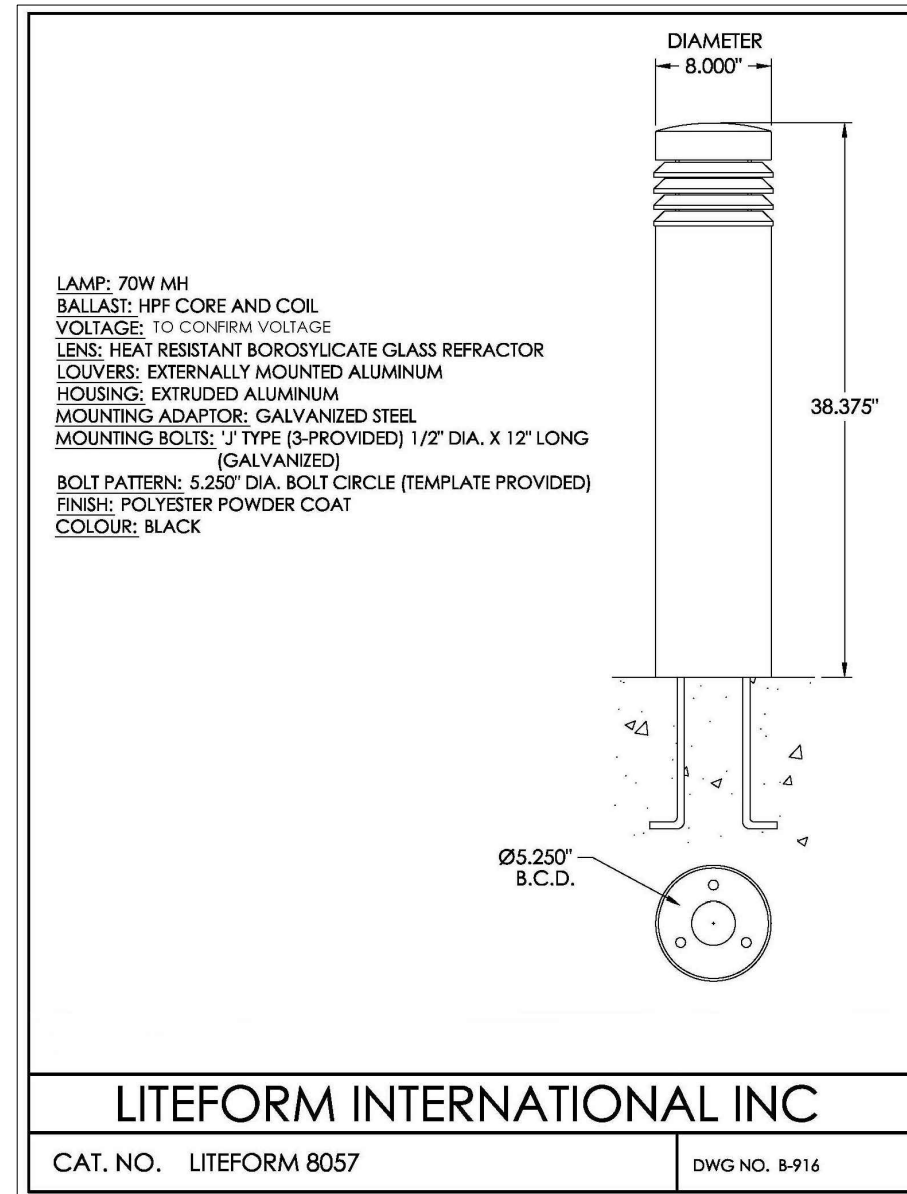
| | |
|--------------|-----------|
| DRAWING | |
| DRAWN: | JD |
| CHECKED: | JD |
| SCALE: | NTS |
| DATE: | SEPT 2014 |
| PROJECT NO.: | 14-180 |



SHEET NO.: **L-302** April 30, 2015

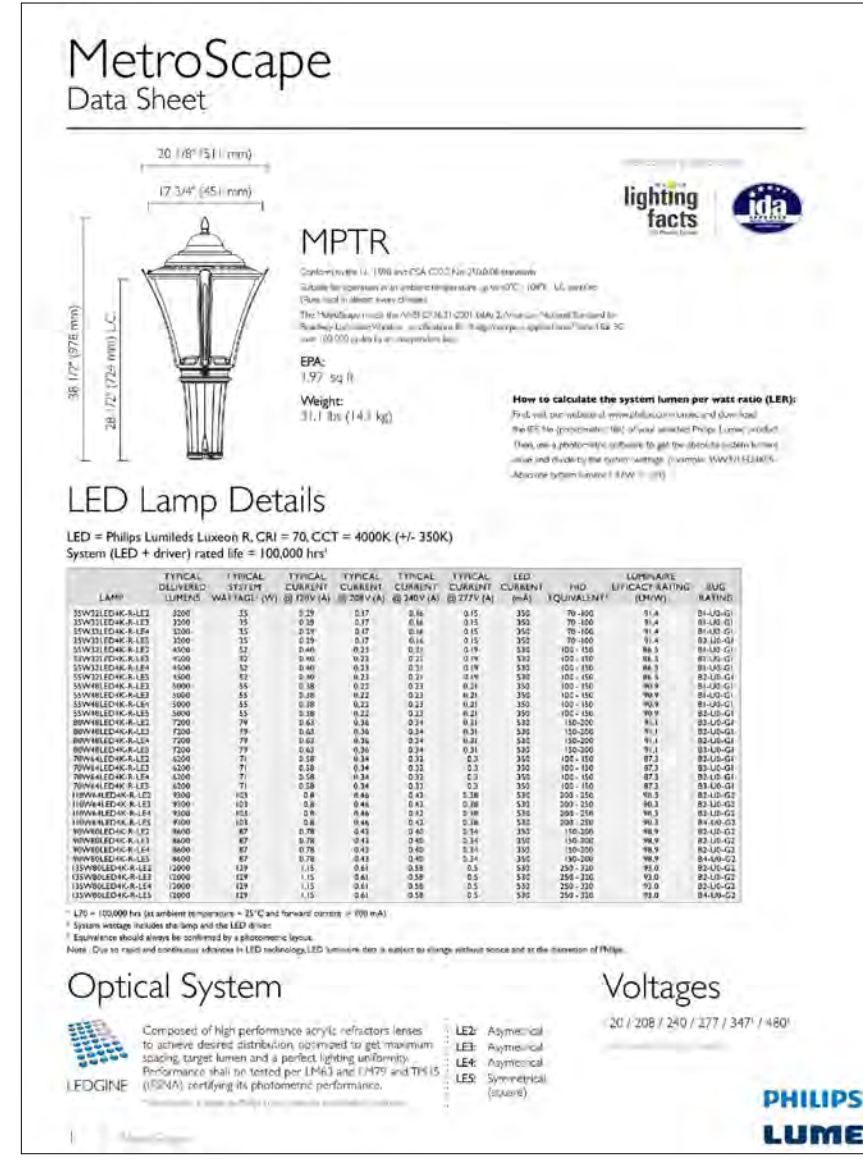


CLIENT
NOT FOR CONSTRUCTION



1 LIGHT BOLLARD
1:20

P-2014-14.180-29



2 LIGHT DETAIL
SCALE=1:1

Luminaire Options

PHB Standard pole
RC Pole for pole
TN3 Pole for pole
TN3.5 Pole for pole

Finials
 FNC Finial

Luminaire Accessory
 SPC1 Pole Control

Advanced Luminaire Solutions
 DMG Driver compatible with driver from 0 to 10 volts
 CDMG Dynamometer standard allowing functional testing including pre-programmed scenarios to suit many applications and needs from safety to treatment energy usage
 CDMGP Dynamometer custom dimming scenario allowing the user to program up to 5 time periods and multiple dimming levels from 100% to 0% of rated wattage
 OVR Dynamometer override function offering the possibility to go back to full power at any time via an external signal of 120VAC to 277VAC from a motion sensor, a switch, a relay or other
 CLO Pre-set driver to manage the lamp temperature by adjusting the power given to the LEDs offering the same lighting intensity during the entire lifespan of the lamp
 AST Pre-set driver for progressive shut-off of the lamp to conserve energy management and enhance user rated control at dusk/dawn
 OTL Pre-set driver to signal end of life of the lamp for better fixture management
 DALI Pre-set driver compatible with the DALI control system

Advanced System Solutions
 Different options are available according to your needs. Please contact us for more information.

Advanced City Solutions
 AMPLIGHT An intelligent monitoring and control substation management system that delivers up to 20% electricity energy savings and makes it easy to monitor and manage the entire system in real time. Please contact us for more information.

Ordering example

| Luminaire | Lamp | Optical System | Voltage | Driver Option | Luminaire Accessory | Pole | Finish |
|-----------|------|----------------|---------|---------------|---------------------|------|--------|
| PHB | PHB | MPTX | 120 | DMG | SPC1 | TN3 | BLACK |

Assembly examples

October 29, 2013 11:02 a.m. I:\01-PROJECTS\2014\14.180 QUEEN STREET SOLMAR DEVELOPMENT\SPV\LOTUS SPV\4.180 L-303S.DWG

| no. | revision | date | by |
|-----|--------------------------------|------------|----|
| 05 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 04 | REVISED PER TOWN COMMENTS | 2015-04-30 | JD |
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

terraplan LANDSCAPE ARCHITECTS 20 Champlain Blvd., Suite 102
 Toronto, Ontario M3H 2Z1, Canada Tel: (416) 638-4911 Fax: (416) 638-4261

Email: terraplan@terraplan.ca Web: www.terraplan.ca

PROPOSED COMMERCIAL DEVELOPMENT
 135 QUEEN STREET
 NIAGARA ON THE LAKE
 ONTARIO

PROJECT LANDSCAPE DETAILS

DRAWING
 DRAWN: JD
 CHECKED: JD
 SCALE: NTS
 DATE: SEPT 2014
 PROJECT NO.: 14-180

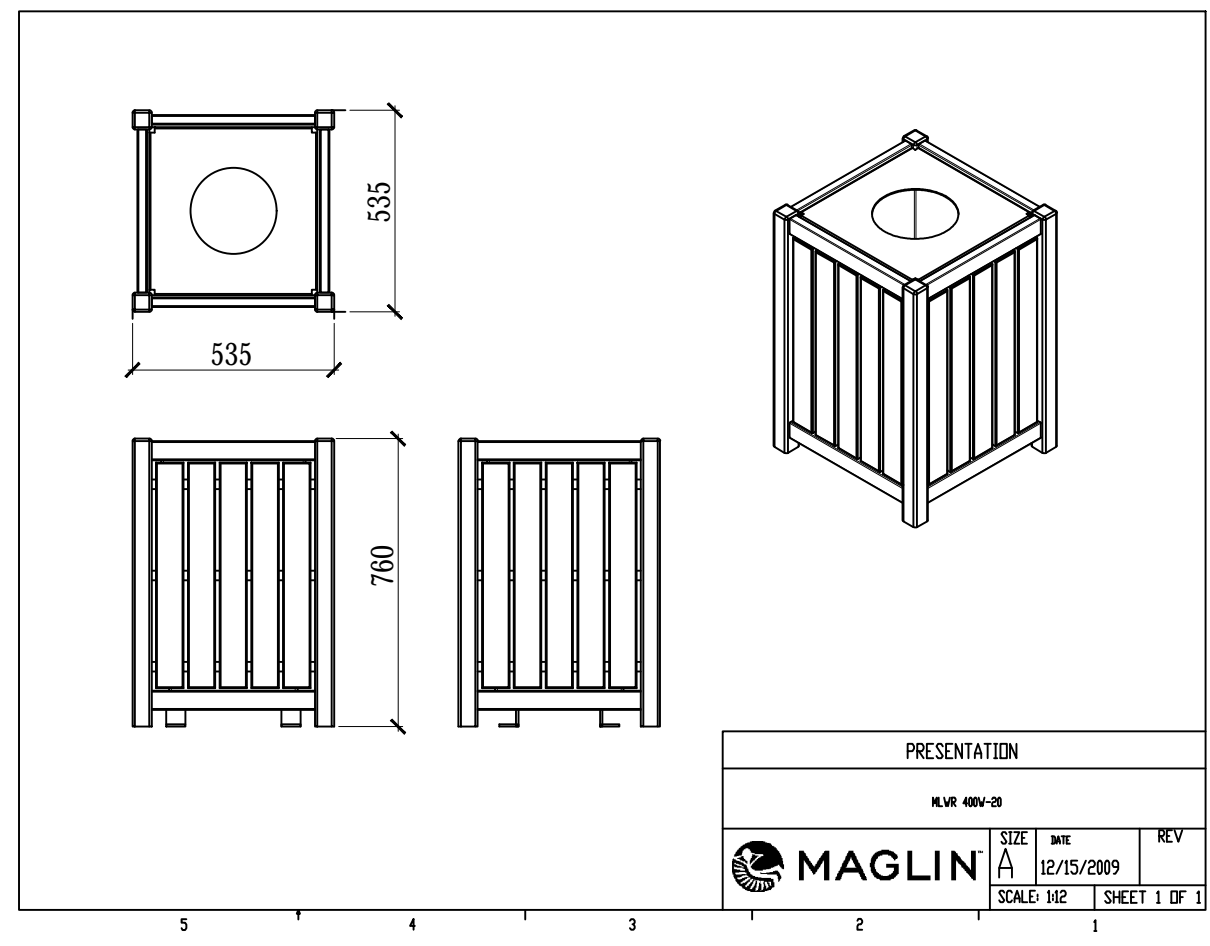
ASSOCIATION OF LANDSCAPE ARCHITECTS ONTARIO
 MEMBER

L-303 April 30, 2015



CLIENT

NOT FOR CONSTRUCTION



| | | |
|--|-------------------|-------------|
| REVISION | DATE | DESCRIPTION |
| 001 | February 27, 2002 | REVISED |
| Presentation | | |
| MLB450w | | |
| 20 Street Street Waterloo, Ontario, Canada N2L 2Z1 Telephone: (519) 221-6176 Fax: (519) 221-6177 Tel: (877) 461-9333 | | |
| REV | DATE | BY |
| 1 | 12/25/2009 | JD |

MATERIALS: Bench frame and seat is made from H.S. steel and flat bar. The back is constructed using lasered steel panels of H.S. steel.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. Holes (0.5") are provided each foot for securing to base.

TO SPECIFY: Select MLB400M
 Choose:
 - Style of Back (Laser cut design or H.S. steel)
 - Powdercoat Color

OPTIONS: - Personalization
 - Custom Laser Design

COMPLEMENTARY PRODUCTS:
 - MLB400BM
 - MLWR400-20M
 - MLB400M
 - MLB400M

STYLE: - GRASS
COLOUR FINISH: - BLACK

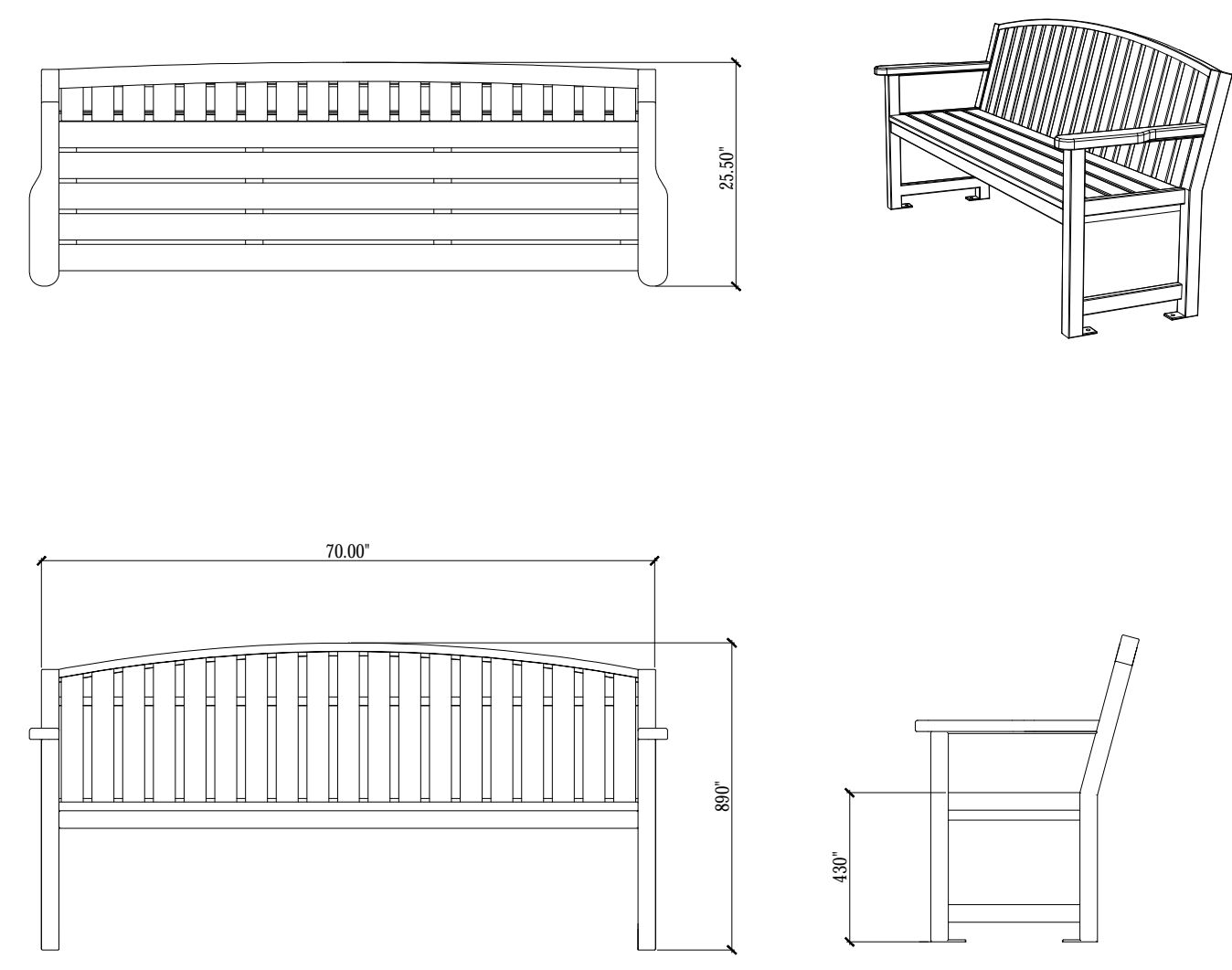


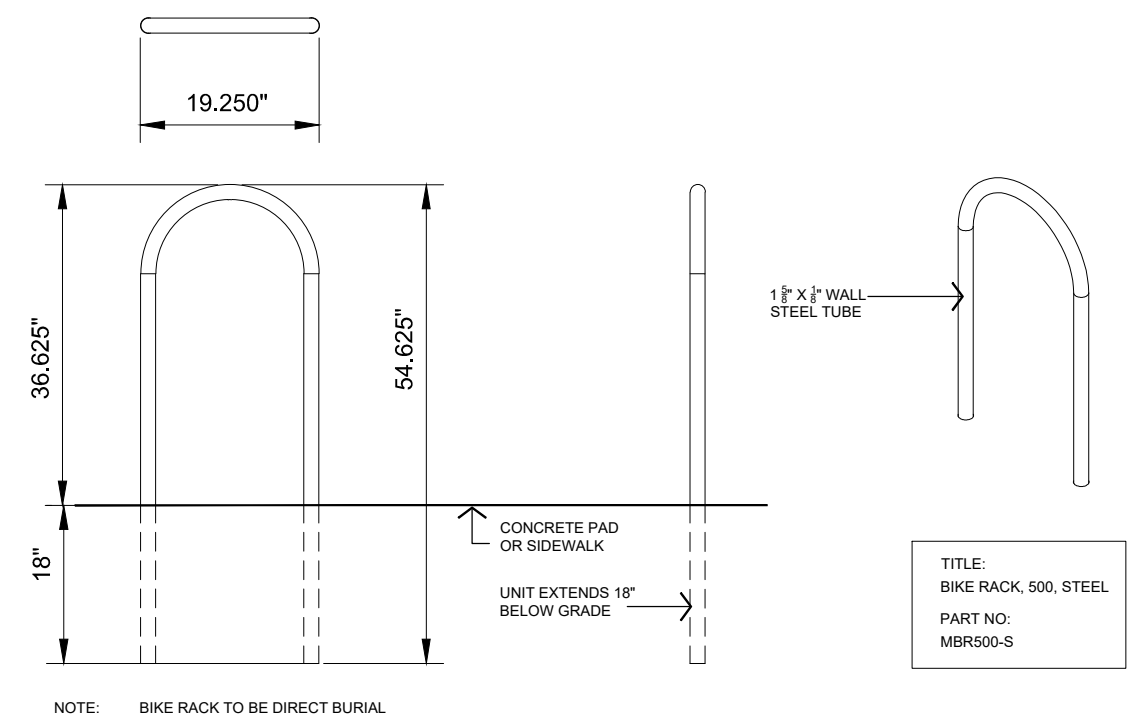
IMAGE OF FENCE TAKEN FROM 156 QUEEN STREET, NIAGARA ON THE LAKE.

NOTE: STAIN TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO COMPLETION. SAMPLE TO BE PROVIDED FOR APPROVAL.

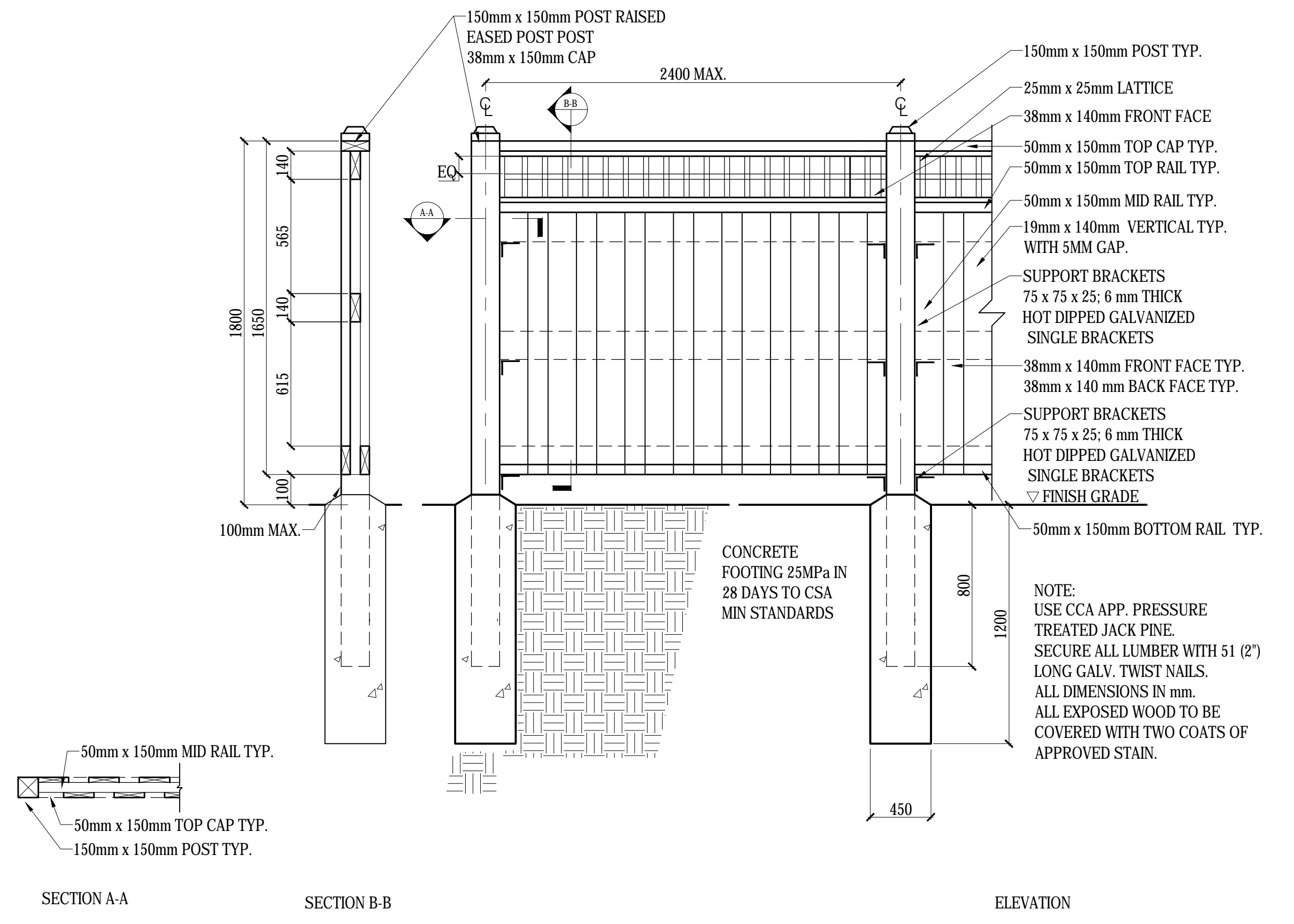
1 MAGLIN MLWR 400W TRASH RECEPTACLE
1:20 P-2014-14.180-20

2 BENCH DETAIL MAGLIN OR APPROVED EQUAL
1:20 P-2014-14.180-21

3 WOODEN PICKET FENCE 1070 MM HEIGHT
1:20 P-2014-14.180-27



6 TYP. BIKE RACK
1:20 P-2014-14.180-52



NOTE:
 USE CCA APP. PRESSURE TREATED JACK PINE.
 SECURE ALL LUMBER WITH 51 (2") LONG GALV. TWIST NAILS.
 ALL DIMENSIONS IN mm.
 ALL EXPOSED WOOD TO BE COVERED WITH TWO COATS OF APPROVED STAIN.

NOTE: STAIN TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO COMPLETION. SAMPLE TO BE PROVIDED FOR APPROVAL.

5 1800 MM (6'-0") WOOD FENCE WITH LATTICE
1:20 P-2014-14.180-25

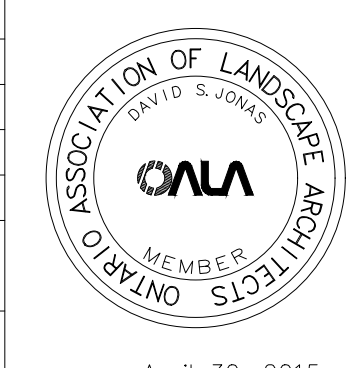
| | | | |
|-----|--------------------------------|------------|----|
| 05 | ISSUED FOR SITE PLAN AMENDMENT | 2017-11-16 | CR |
| 04 | REVISED PER TOWN COMMENTS | 2015-04-30 | JD |
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |
| no. | revision | date | by |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.



PROPOSED COMMERCIAL DEVELOPMENT
 135 QUEEN STREET
 NIAGARA ON THE LAKE
 ONTARIO

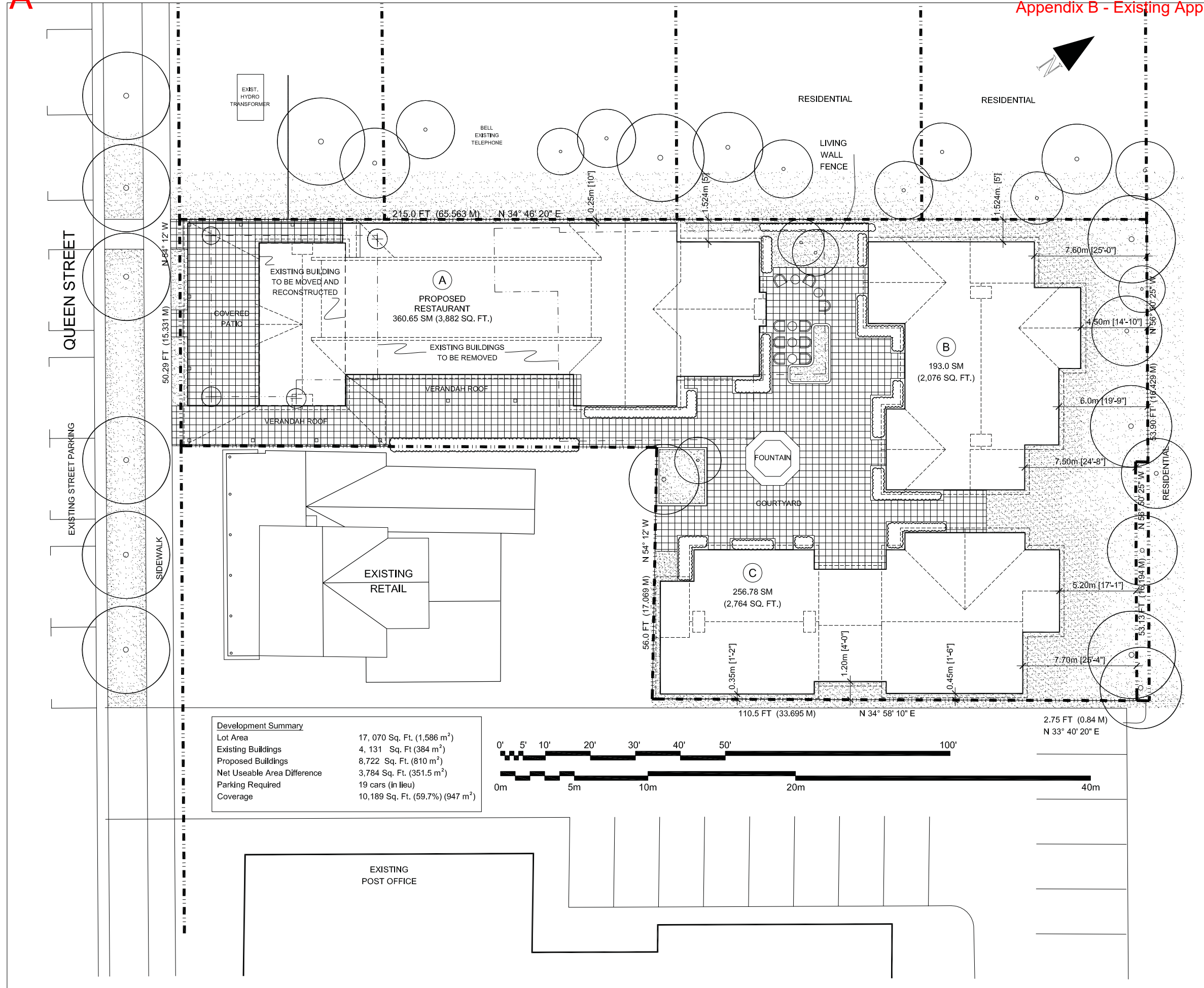
DRAWING
 DRAWN: JD
 CHECKED: JD
 SCALE: NTS
 DATE: SEPT 2014
 PROJECT NO.: 14-180



SHEET NO.: L-304

April 30, 2015

October 29, 2013 11:02 a.m. I:\01-PROJECTS\2014\14.180-QUEEN STREET SOLMAR DEVELOPMENT\DRAWINGS\APPENDIX A\100-3005.DWG



Appendix A

GENERAL NOTES

- ALL DRAWINGS ARE IN METRIC SCALE. DIMENSIONS UNDER 1 MM ARE SHOWN AS A WHOLE NUMBER. ALL DIMENSIONS ARE GIVEN TO FACE OF CURB AND FACE OF FOUNDATION AND SITE WALLS, UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PROVINCIAL OR LOCAL MUNICIPAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO PROVINCIAL AND LOCAL MUNICIPAL STANDARDS AND CODES THAT PERTAIN TO THE SITE UNDER CONSTRUCTION.
- CONTRACTOR SHALL ARRANGE FOR UTILITY STAKING PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO CONSTRUCTION TO BECOME FAMILIAR WITH EXISTING CONDITIONS. IF ANY DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS, CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- CONTRACTOR SHALL PROVIDE HIS OWN LAYOUT, GRADING, STAKING, AND SURVEYING REQUIRED FOR CONSTRUCTION. REFER TO EXISTING SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION. CONTRACTOR SHALL FIELD VERIFY LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.

- CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS BEFORE ASPHALT OR CONCRETE HAS CURED. DO NOT LEAVE ANY HOLES OPEN OVERNIGHT.
- KEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED MATERIALS FOR APPROVAL PRIOR TO PLACING ORDERS.
- ALL WORK SHALL BE INSPECTED BY LANDSCAPE ARCHITECT PRIOR TO PAYMENT APPROVAL.
- CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT SITE CONDITIONS TO THE LANDSCAPE ARCHITECT PRIOR TO OBTAINING APPROVAL OF SUBSTANTIAL COMPLETION.
- AT ALL EDGES OF EXISTING SIDEWALK OR CURB AGAINST WHICH NEW CONCRETE IS TO BE PLACED, SAWCUT AND REMOVE EXISTING CONCRETE BACK TO THE NEAREST CONSTRUCTION JOINT TO PROVIDE A SMOOTH TRANSITION TO THE NEW CONCRETE.
- INSTALL ISOLATION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE PAVEMENT.

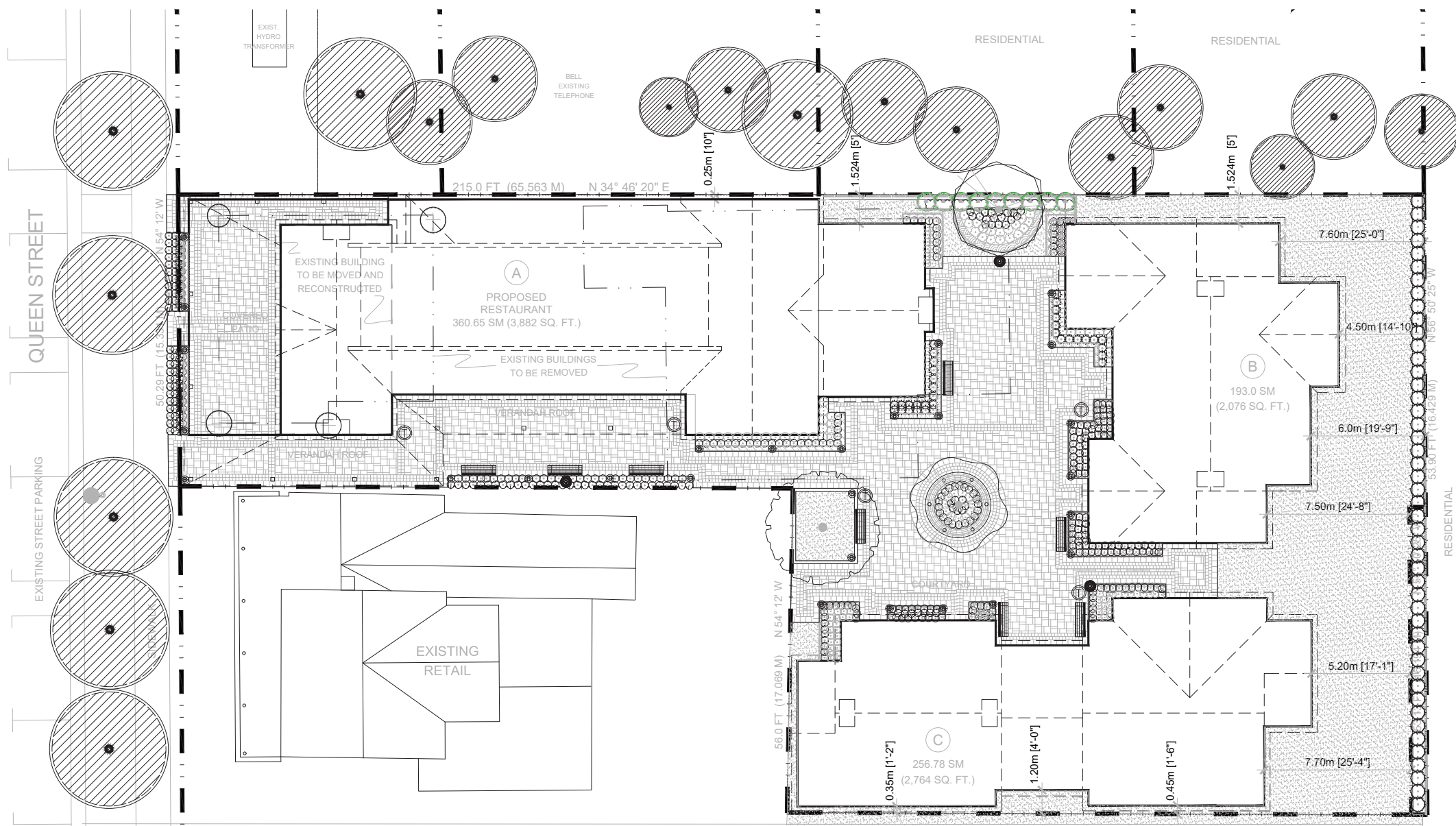
LANDSCAPE NOTES

- ALL PLANTING AND INSTALLATION IN RIGHT OF WAY SHALL MEET LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE DAMAGE TO COMPLETED LAWN AND PLANT MATERIAL INSTALLATION.
- IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED ON THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.
- IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO START OF WORK, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING OF SUBGRADE BELOW LAWN AND LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RESPREADING TOPSOIL, FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE SOIL TEST ANALYSIS FOR ALL SOIL USED ON PROJECT. COPIES OF SOIL ANALYSIS SHALL BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO ANY LANDSCAPE CONSTRUCTION.
- PRIOR TO SPREADING TOPSOIL, LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BY EARTHWORK CONTRACTOR BEFORE PLACING ANY TOPSOIL.
- BEFORE PLANT MATERIAL INSTALLATION BEGINS, STAKE LOCATIONS OF NEW PLANT MATERIAL AND NOTIFY LANDSCAPE ARCHITECT FOR APPROVAL. NOTIFY LANDSCAPE ARCHITECT ONE WEEK MINIMUM PRIOR TO TENTATIVE DATE OF STAKING.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
- ALL PLANT MATERIAL SHALL BE GROWN IN CLAY SOIL. ALL SHRUBS SHALL BE GROWN IN FIBRE POT CONTAINERS. ALL TREES SHALL BE NURSERY GROWN AND TRANSPLANTED USING THE BALL AND BURLAP METHOD.
- ALL SHRUBS AND CONIFEROUS PLANTINGS SHALL BE INSTALLED IN CONTINUOUS PLANTING BEDS.
- ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER. BORDER SHALL BE CUT 80MM DEEP AT A 45° ANGLE, SO THERE IS A CLEAR AND WELL DEFINED SEPARATION BETWEEN THE PLANTING BEDS AND SODDED AREAS.
- ALL SHRUB BED AREAS SHALL HAVE A MINIMUM 80MM THICK LAYER OF LANDSCAPE MULCH.
- PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL LARGE BED AREAS.
- WHERE PROJECT SITE IS TO BE SODDED, CONTRACTOR SHALL PROVIDE NEW TOPSOIL AND SOD IN ANY ADJACENT RIGHT OF WAY FROM PROPERTY LINE TO BACK OF MUNICIPAL CURB.
- CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR TO ENSURE PROPER WATERING OF PLANTED AND SEEDING AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS BETWEEN PLANTS AND SPRINKLER HEADS AND LINES.

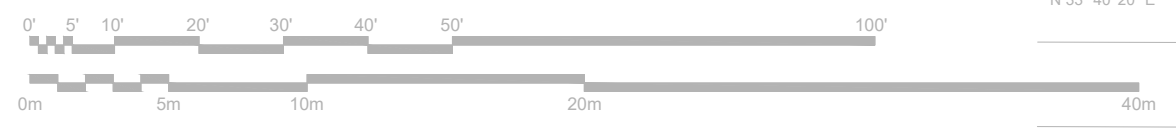


CLIENT
NOT FOR CONSTRUCTION

| DRAWINGS LIST | |
|---------------|-----------------------|
| L100 | COVER SHEET |
| L101 | PLANTING PLAN |
| L200 | DETAIL REFERENCE PLAN |
| L301 | DETAILS - PLANTING |
| L302 | DETAILS - PLANTING |
| L303 | DETAILS - LIGHTING |
| L304 | DETAILS - LANDSCAPE |



| Development Summary | |
|-----------------------------|--|
| Lot Area | 17,070 Sq. Ft. (1,586 m ²) |
| Existing Buildings | 4,131 Sq. Ft. (384 m ²) |
| Proposed Buildings | 8,722 Sq. Ft. (810 m ²) |
| Net Useable Area Difference | 3,784 Sq. Ft. (351.5 m ²) |
| Parking Required | 19 cars (in lieu) |
| Coverage | 10,189 Sq. Ft. (59.7%) (947 m ²) |



| no. | revision | date | by |
|-----|---------------------------|------------|----|
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____



Email: terrapian@terrapian.ca Web: www.terrapian.ca

PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

PROJECT
LANDSCAPE PLAN - COVER SHEET

| | |
|-------------|-----------|
| DRAWN | JD |
| CHECKED | JD |
| SCALE | 1:125 |
| DATE | SEPT 2014 |
| PROJECT NO. | 14-180 |



SHEET NO.: **L-100** March 17, 2015

October 28, 2013 11:02 a.m. I:\P-PROJECTS\2014\14-180 QUEEN STREET SOLMAR\CAD\14-180 QUEEN STREET SOLMAR\CADD\CURRENT\20SP\PAV.01\20SP\PAV.14-180 L-100S AND 200.DWG

Appendix A

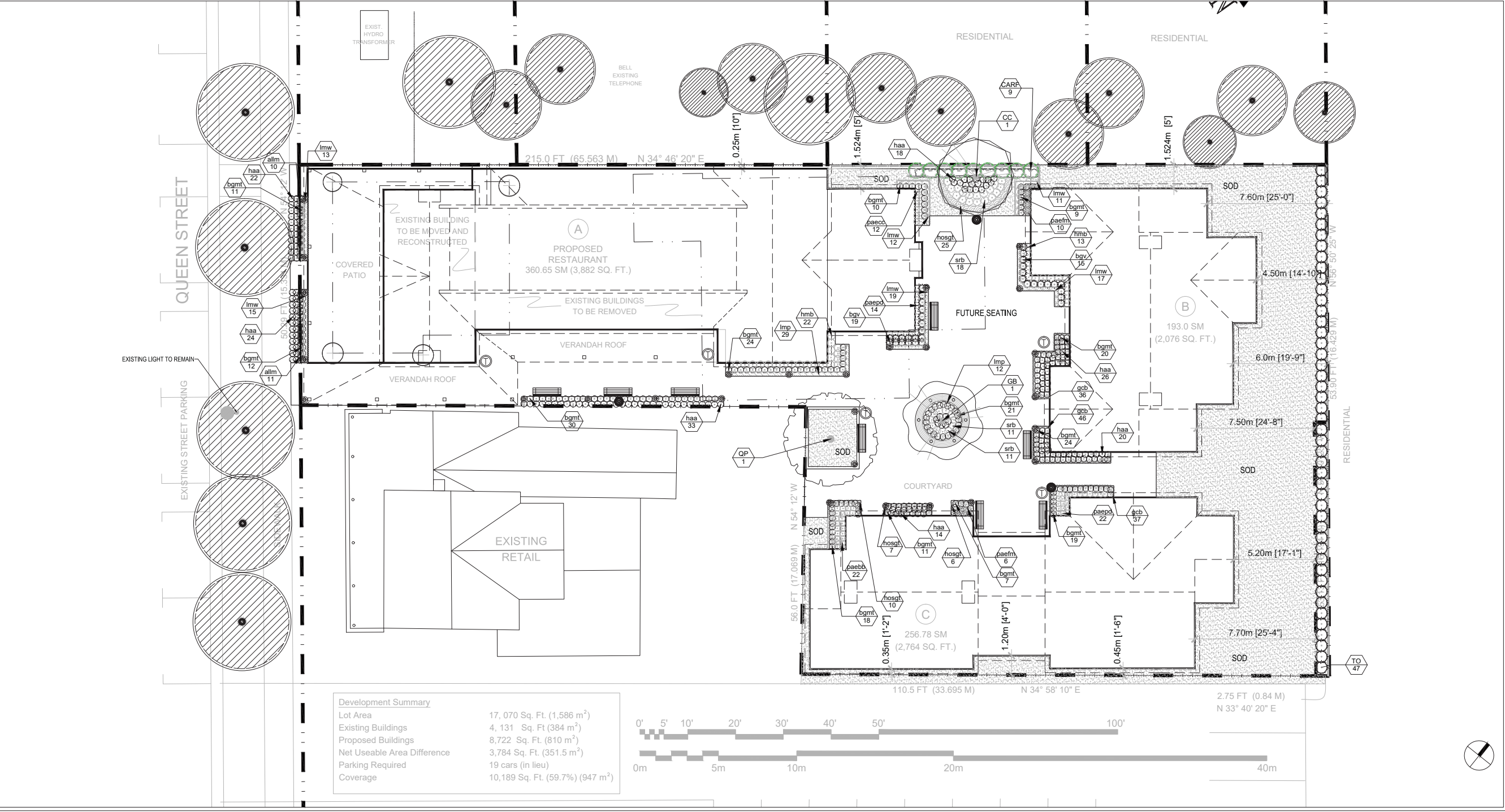
PLANT SCHEDULE QUEEN STREET

Appendix B - Existing Approved Site Plan

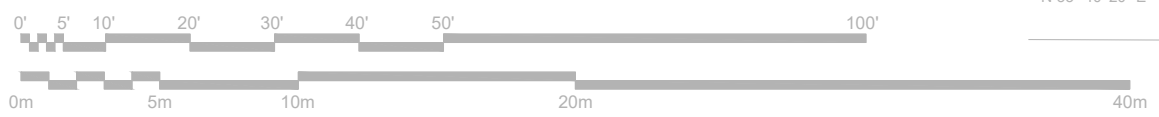


| TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | B&B | CAL. | REMARKS | |
|----------|-------|-----|-----------------------------------|---------------------------------|----------------|----------|-----------|---------|
| | CARF | 9 | CARPINUS BETULUS 'FRANZ FONTANE' | FRANZ FONTANE HORNBEEAM | B & B | | | |
| | CC | 1 | CARPINUS CAROLINIANA | BLUE BEECH - AMERICAN HORNBEEAM | B & B | 70MM CAL | NATIVE | |
| | GB | 1 | GRNKGO BILOBA | MAIDENHAR TREE | B & B | 70MM CAL | MALE ONLY | |
| | QP | 1 | QUERCUS PALUSTRIS | PIN OAK | B & B | 70MM CAL | NATIVE | |
| CONIFERS | CODE | QTY | BOTANICAL NAME | COMMON NAME | B&B | CAL. | REMARKS | |
| | TO | 47 | THUJA OCCIDENTALIS | WHITE CEDAR | B & B | 2M HT | NATIVE | |
| SHRUBS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | HT. | SPACING | REMARKS |
| | bgmt | 216 | BUXUS X 'GREEN MOUNTAIN' | BOXWOOD | CONT. | 60 CM | 0.40m | |
| | bgv | 34 | BUXUS X 'GREEN VELVET' | BOXWOOD | CONT. | 60 CM | 0.50m | |
| | gcb | 119 | GERANIUM CINEREUM 'BALLERINA' | BALLERINA HARDY GERANIUM | FLAT - 9CM POT | | 0.20m | |
| | haa | 164 | HYDRANGEA ARBORESCENS 'ANNABELLE' | ANNABELLE SMOOTH HYDRANGEA | CONT. | 60 CM | 0.40m | |
| | hmb | 35 | HYDRANGEA MACROPHYLLA 'BALMER' TM | ENDLESS SUMMER | CONT. | 60 CM | 0.50m | |
| | paebb | 22 | PAEONIA X 'BOWL OF BEAUTY' | BOWL OF BEAUTY PEONY | 60CM | | 0.40m | |
| | paecr | 12 | PAEONIA X 'CORAL CHARM' | CORAL CHARM PEONY | 60CM | | 0.40m | |

| ANNUALS/PERENNIALS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | HT. | SPACING | REMARKS |
|--------------------|-------|-----|---------------------------------|-----------------------------|------------|-------|---------|---------|
| | paefm | 16 | PAEONIA X 'FESTIVA MAXIMA' | FESTIVA MAXIMA DOUBLE PEONY | 60CM | | 0.40m | |
| | paepd | 36 | PAEONIA X 'PINK DOUBLE DANDY' | KEIKO ITOH PEONY | 60CM | | 0.40m | |
| | srb | 29 | SYRINGA X 'BLOOMERANG' | LEIAC | CONT. | 60 CM | 0.50m | |
| GROUND COVERS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | HT. | SPACING | REMARKS |
| | allm | 21 | ALLIUM SPHAEROCEPHALUM | DRUMSTICK ALLIUM | 1 GAL. POT | | 0.40m | |
| | hosgt | 48 | HOSTA UNDULATA 'GOLDEN TARA' | VARIEGATED HOSTA | 1 GAL. POT | | 300mm | |
| | lmp | 41 | LAMLIUM MACULATUM 'PINK PEWTER' | PINK PEWTER DEAD NETTLE | 30CM POT | | 300mm | |



| Development Summary | |
|-----------------------------|--|
| Lot Area | 17,070 Sq. Ft. (1,586 m ²) |
| Existing Buildings | 4,131 Sq. Ft. (384 m ²) |
| Proposed Buildings | 8,722 Sq. Ft. (810 m ²) |
| Net Useable Area Difference | 3,784 Sq. Ft. (351.5 m ²) |
| Parking Required | 19 cars (in lieu) |
| Coverage | 10,189 Sq. Ft. (59.7%) (947 m ²) |



CLIENT

NOT FOR CONSTRUCTION

| no. | revision | date | by |
|-----|---------------------------|------------|----|
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-03-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

terraplan
LANDSCAPE ARCHITECTS

20 Champlain Blvd., Suite 102
Toronto, Ontario, M5N 2Z1
Canada Tel: (416) 838-4911
Fax: (416) 838-4261

Email: terraplan@terraplan.ca Web: www.terraplan.ca

PROPOSED COMMERCIAL DEVELOPMENT
 135 QUEEN STREET
 NIAGARA ON THE LAKE
 ONTARIO

PROJECT
PLANTING PLAN

DRAWING
DRAWN: JD
CHECKED: JD
SCALE: 1:125
DATE: SEPT 2014
PROJECT NO.: 14-180

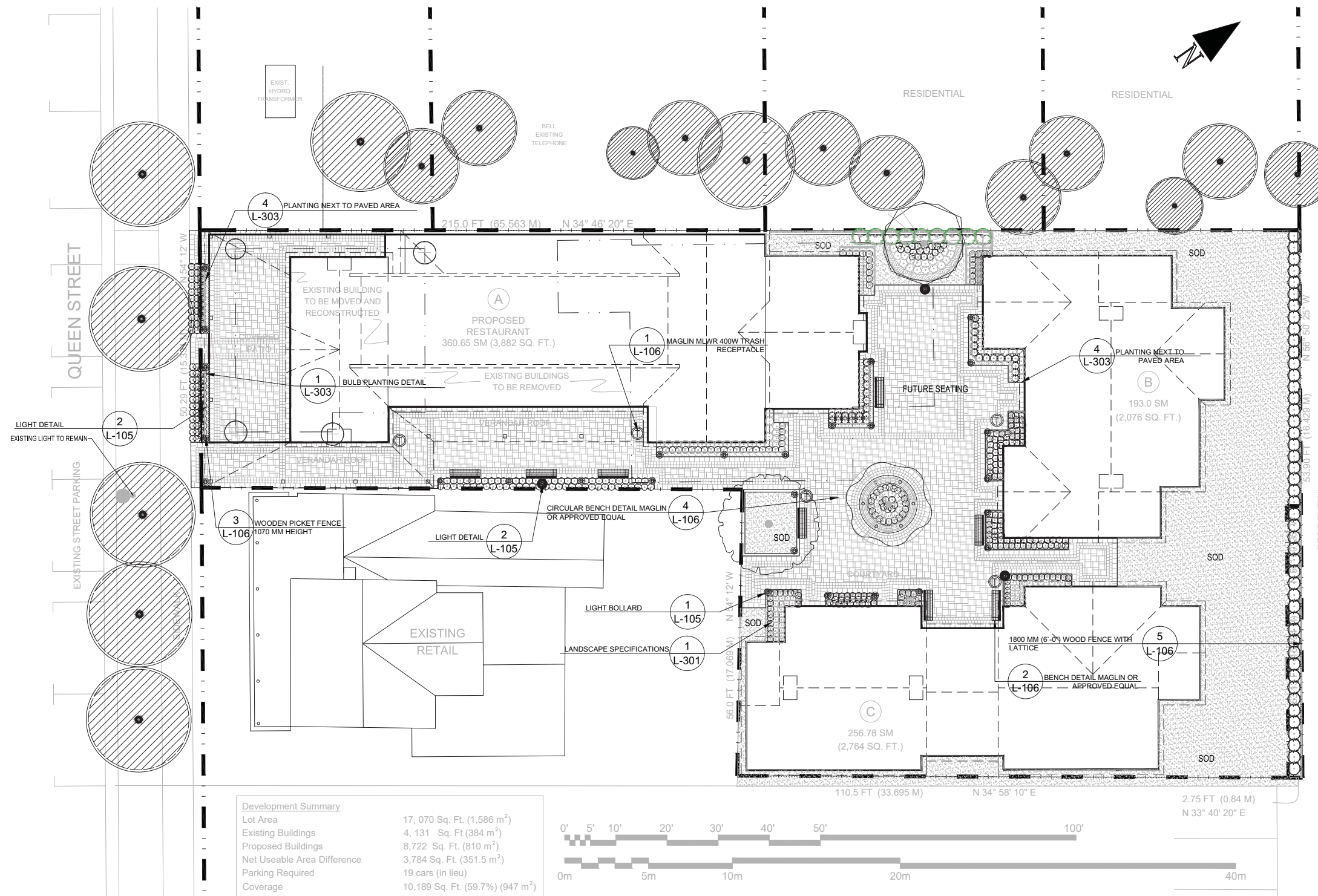
L-101

March 17, 2015

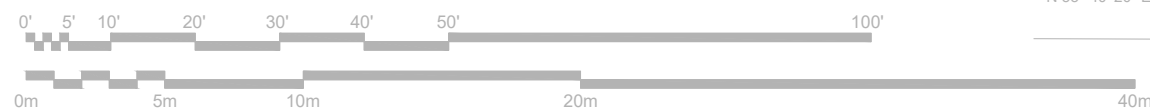
October 28, 2013 11:02 a.m. I:\PROJECTS\2014\14-180 QUEEN STREET SOLMAR\CAD\1-CURRENT\2014\14-180 L-101S AND 2014.DWG

CLIENT

NOT FOR CONSTRUCTION



| Development Summary | |
|-----------------------------|--|
| Lot Area | 17,070 Sq. Ft. (1,586 m ²) |
| Existing Buildings | 4,131 Sq. Ft. (384 m ²) |
| Proposed Buildings | 8,722 Sq. Ft. (810 m ²) |
| Net Useable Area Difference | 3,784 Sq. Ft. (351.5 m ²) |
| Parking Required | 19 cars (in lieu) |
| Coverage | 10,189 Sq. Ft. (59.7%) (947 m ²) |



| no. | revision | date | by |
|-----|---------------------------|------------|----|
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

terraplan
 LANDSCAPE ARCHITECTS
 20 Champlain Blvd., Suite 102
 Toronto, Ontario, M5N 2Z1
 Canada Tel: (416) 838-4911
 Fax: (416) 838-4261
 Email: terraplan@terraplan.ca Web: www.terraplan.ca

PROPOSED COMMERCIAL DEVELOPMENT
 135 QUEEN STREET
 NIAGARA ON THE LAKE
 ONTARIO

PROJECT
DETAIL REFERENCE PLAN

| | |
|-------------|-----------|
| DRAWN | JD |
| CHECKED | JD |
| SCALE | 1:125 |
| DATE | SEPT 2014 |
| PROJECT NO. | 14-180 |

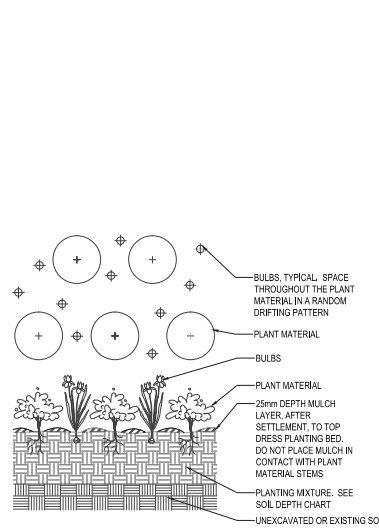
L-200
 March 17, 2015



October 28, 2013 11:02 a.m. I:\PROJECTS\2014\14-180 QUEEN STREET SOLMAR\CAD\CURRENT\2014\14-180 L-200 AND 200.DWG

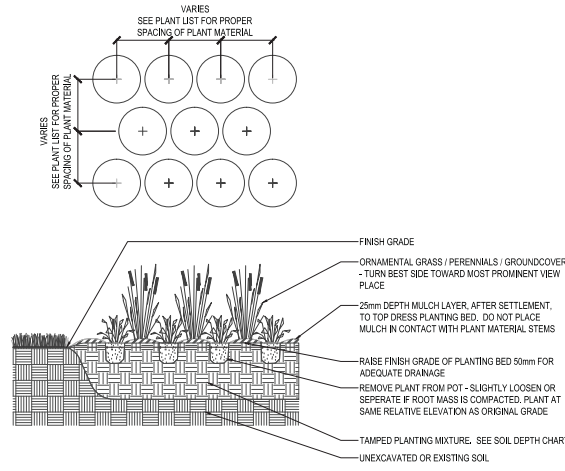
CLIENT

NOT FOR CONSTRUCTION



1 BULB PLANTING DETAIL

SCALE=NO SCALE



2 GROUND COVER PLANTING

1:20

P-RE-QUE-14

SEEDING AND HYDROSEEDING SPECIFICATIONS

AREAS TO BE SEEDED OR HYDROSEEDED SHALL RECEIVE AN APPLICATION OF SEED AT THE RATE AS SPECIFIED ON THE SEED MIXTURE DETAILS.

FERTILIZER SHALL BE COMBINED WITH HYDROSEED MIX AT THE FOLLOWING RATE:

| | |
|--------------------------------------|-------|
| RATE PER HECTARE: | |
| 5-20-20 ANALYSIS | 450KG |
| 30-0-0 ANALYSIS | 115KG |
| 0-0-0 ANALYSIS (SULPHUR COATED AREA) | 225KG |

HYDRALUIC MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE APPLIED AT THE RATE OF 2100KG PER HECTARE, TO BE APPLIED BY HAND HELD HOISING AND WALKING THE SITE FOR CONSISTENCY. IN ALL APPLICATIONS AFTER PLANT INSTALLATION, THE CONTRACTOR SHALL NOT CARRY OUT THE WORK UNDER ADVERSE WEATHER CONDITIONS SUCH AS HIGH WIND, FROZEN GROUND OR GROUND COVERED WITH SNOW, ICE OR STANDING WATER.

A SOIL TEST SHOULD BE PERFORMED BY A COMPETENT HYDROSEEDING CONTRACTOR TO VERIFY MIXTURE AND PERCENTAGES REQUIRED.

PREPARATION:

GRADE SUB-GRADE, ELIMINATE UNEVEN AREAS AND LOW SPOTS, ENSURE POSITIVE DRAINAGE. REMOVE DEBRIS, ROOTS, BRANCHES, STONES IN EXCESS OF 50MM DIAMETER AND OTHER DELECTERIOUS MATERIALS. REMOVE SUBSOIL THAT HAS BEEN CONTAMINATED WITH OIL, GASOLINE OR CALCIUM CHLORIDE, DISPOSE OF REMOVED MATERIAL AS DIRECTED BY LANDSCAPE ARCHITECTS.

GRADE SUB-GRADE FOR HYDRO-SEEDING TO A UNIFORM SURFACE AND REMOVE VEGETATION WHICH MAY INTERFERE WITH SEEDING OPERATIONS, LOOSEN SOIL TO DEPTH OF 25MM MINIMUM AND REMOVE STONES AND FOREIGN MATERIAL WHICH PROTRUDE MORE THAN 75MM ABOVE THE SURFACE.

ENSURE OPTIMUM SOIL MOISTURE CONTENT FOR SEED GROWTH PRIOR TO SCARIFICATION AND SEEDING.

USE 'SOIL GUARD' BONDED FIBRE MATRIX BY WEHERHAUSER OR SIMILAR APPROVED SOIL STABILIZER FOR ALL SLOPE CONDITIONS.

ALL AREAS TO BE HYDROSEEDED TO RECEIVE 300mm OF TOPSOIL.

MAINTENANCE:

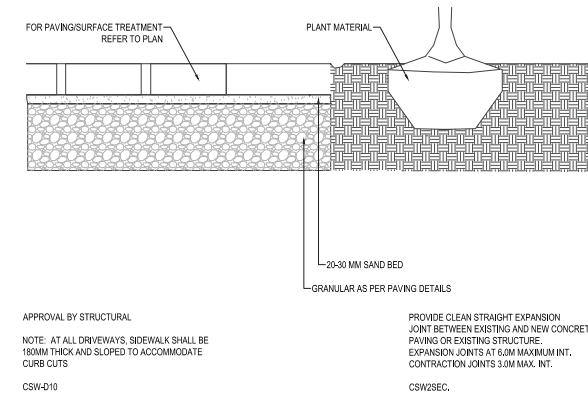
SEEDED AREAS TO BE MAINTAINED BY CONTRACTOR ENSURING ADEQUATE WATER, FERTILIZER MAINTENANCE AND REPAIR UNTIL SEEDED AREAS ARE PROPERLY ESTABLISHED. AREAS SEEDED IN FALL WILL BE ACCEPTED IN FOLLOWING SPRING, ONE MONTH AFTER START OF GROWING SEASON PROVIDED ACCEPTANCE CONDITIONS ARE FULFILLED.

NOTE: SEED MIX AND RATE IS SUBJECT TO CHANGE. LANDSCAPE ARCHITECT TO CONFIRM TIMING, EXISTING CONDITIONS, AND SEED MIXES WITH THE TOWN OF NIAGARA-ON-THE-LAKE PARKS DIVISION IN WRITING PRIOR TO SEEDING OPERATIONS.

3 SEEDING AND HYDROSEEDING SPECIFICATIONS

1:20

P-RE-QUE-19



4 PLANTING NEXT TO PAVED AREA

SCALE=1:1

| | | | |
|--|--|--|--|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

| | | | |
|-----|---------------------------|------------|----|
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |
| no. | revision | date | by |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

terrapian
LANDSCAPE ARCHITECTS

20 Champlain Blvd., Suite 102
Toronto, Ontario, M5H 2Z1,
Canada Tel: (416) 638-4911
Fax: (416) 638-4261

Email: terrapian@terrapian.ca Web: www.terrapian.ca

PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

PROJECT
LANDSCAPE DETAILS

| | |
|-------------|-----------|
| DRAWN | JD |
| CHECKED | JD |
| SCALE | NTS |
| DATE | SEPT 2014 |
| PROJECT NO. | 14-180 |
| SHEET NO. | L-302 |

March 17, 2015

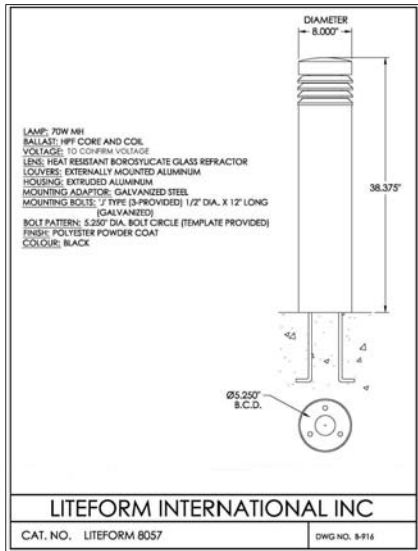


October 28, 2013 11:02 a.m. I:\01-PROJECTS\2014\14-180 QUEEN STREET SOLMAR\DCS\PAVING\0120-SP\A14-180 L-302.DWG



CLIENT

NOT FOR CONSTRUCTION



1 LIGHT BOLLARD
1:20

MetroScape Data Sheet

LED Lamp Details

| Item | Description | Quantity | Unit Price | Total Price |
|------|-------------|----------|------------|-------------|
| 1 | LED Lamp | 1 | \$10.00 | \$10.00 |
| 2 | Ballast | 1 | \$10.00 | \$10.00 |
| 3 | Capacitor | 1 | \$10.00 | \$10.00 |
| 4 | Coil | 1 | \$10.00 | \$10.00 |
| 5 | Core | 1 | \$10.00 | \$10.00 |
| 6 | Endcap | 1 | \$10.00 | \$10.00 |
| 7 | Fluorophor | 1 | \$10.00 | \$10.00 |
| 8 | Socket | 1 | \$10.00 | \$10.00 |
| 9 | Cap | 1 | \$10.00 | \$10.00 |
| 10 | Coil | 1 | \$10.00 | \$10.00 |
| 11 | Core | 1 | \$10.00 | \$10.00 |
| 12 | Endcap | 1 | \$10.00 | \$10.00 |
| 13 | Fluorophor | 1 | \$10.00 | \$10.00 |
| 14 | Socket | 1 | \$10.00 | \$10.00 |
| 15 | Cap | 1 | \$10.00 | \$10.00 |
| 16 | Coil | 1 | \$10.00 | \$10.00 |
| 17 | Core | 1 | \$10.00 | \$10.00 |
| 18 | Endcap | 1 | \$10.00 | \$10.00 |
| 19 | Fluorophor | 1 | \$10.00 | \$10.00 |
| 20 | Socket | 1 | \$10.00 | \$10.00 |
| 21 | Cap | 1 | \$10.00 | \$10.00 |
| 22 | Coil | 1 | \$10.00 | \$10.00 |
| 23 | Core | 1 | \$10.00 | \$10.00 |
| 24 | Endcap | 1 | \$10.00 | \$10.00 |
| 25 | Fluorophor | 1 | \$10.00 | \$10.00 |
| 26 | Socket | 1 | \$10.00 | \$10.00 |
| 27 | Cap | 1 | \$10.00 | \$10.00 |
| 28 | Coil | 1 | \$10.00 | \$10.00 |
| 29 | Core | 1 | \$10.00 | \$10.00 |
| 30 | Endcap | 1 | \$10.00 | \$10.00 |

Luminaire Options

PHB, RC, TN3, TN3L

Luminaire Accessory SPC

Advanced Luminaire Solutions

- DMG: Dimmer compatible with 0-10V or DALI
- CDMG: Dimmer compatible with 0-10V or DALI and programmable scenarios to best manage illumination and reduce energy usage
- CDMGP: Dimmer compatible with 0-10V or DALI and programmable scenarios to best manage illumination and reduce energy usage
- OVR: Overvoltage protection allowing the possibility to go back to full power to avoid the end-of-life signal of 0.200A to 0.215A, before it reaches a critical level
- CLO: Circuit breaker to manage the luminaire by opening the power given to the LED
- AST: Advanced system for intelligent control of the lamp to maximize energy management and reduce the total cost of ownership (TCO)
- OTL: One touch control of the lamp for easier maintenance
- DALI: Dimmer compatible with the DALI control system

Advanced System Solutions

Advanced City Solutions

AMPLIGHT

Poles

Finish

| Code | Description |
|------|-------------|
| WHT | White |
| BK | Black |
| GRN | Green |
| BRN | Brown |
| BLU | Blue |
| RED | Red |
| OR | Orange |
| YEL | Yellow |
| PUR | Purple |
| PNK | Pink |
| LAC | Lacquered |

Ordering example

| Luminaire | Accessory | Pole | Finish |
|-----------|-----------|-------|--------|
| PHB | OTL | 10.00 | WHT |
| RC | AST | 10.00 | BK |
| TN3 | DMG | 10.00 | GRN |
| TN3L | OVR | 10.00 | BRN |

Assembly examples

2 LIGHT DETAIL
SCALE=1:1

October 28, 2013 11:02 a.m. I:\H-PROJECTS\2014\14-180 QUEEN STREET SOLMAR\CD\01\02\SP\APP\01\02\SP\APP14-180_L300S.DWG

| | | | |
|--|--|--|--|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

| no. | revision | date | by |
|-----|---------------------------|------------|----|
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

20 Champlain Blvd, Suite 102
Toronto, Ontario, M5H 2Z1,
Canada Tel: (416) 638-4911
Fax: (416) 638-4261

PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

LANDSCAPE DETAILS

DRAWING

| | |
|--------------|-----------|
| DRAWN: | JD |
| CHECKED: | JD |
| SCALE: | NTS |
| DATE: | SEPT 2014 |
| PROJECT NO.: | 14-180 |

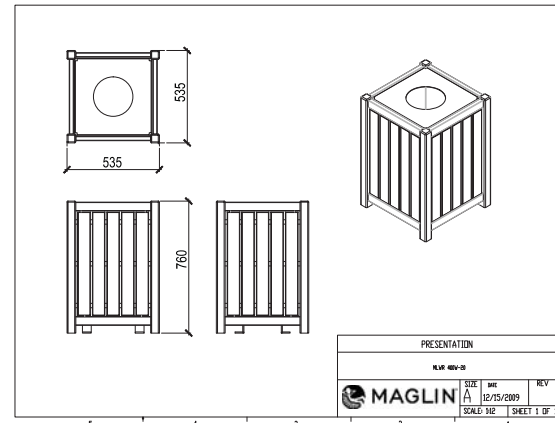
L-303

March 17, 2015



CLIENT

NOT FOR CONSTRUCTION



| | | | |
|------------------------------|-----|------|---------|
| DESCRIPTION | QTY | UNIT | REMARKS |
| 100 INCH INSIDE RADIUS BENCH | 1 | UNIT | |
| Presentation | | | |
| MLB450W | | | |

MATERIALS: Bench frame and seat is made from H.S. steel and flat bar. The back is constructed using laser cut steel panels or H.S. steel.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. Holes (0.5") are provided each foot for securing to base.

TO SPECIFY: Select MLB400M
Choose:
- Style of Back (Laser cut design or H.S. steel)
- Powdercoat Color

OPTIONS - Personalization
- Custom Laser Designs
COMPLEMENTARY PRODUCTS:
- MLR400M
- MLWR400-20M
- MLP400M
MLB400M

STYLE - GRASS
COLOR FINISH - BLACK

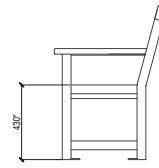
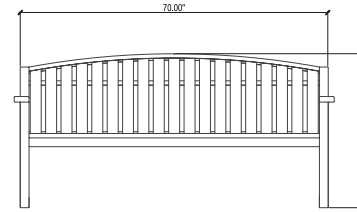
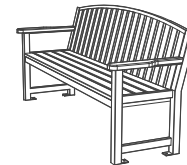
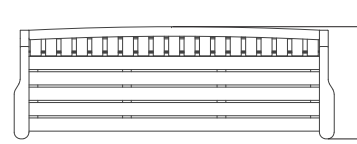


IMAGE OF FENCE TAKEN FROM 156 QUEEN STREET, NIAGARA ON THE LAKE.

NOTE: STAIN TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO COMPLETION. SAMPLE TO BE PROVIDED FOR APPROVAL

1 MAGLIN MLWR 400W TRASH RECEPTACLE

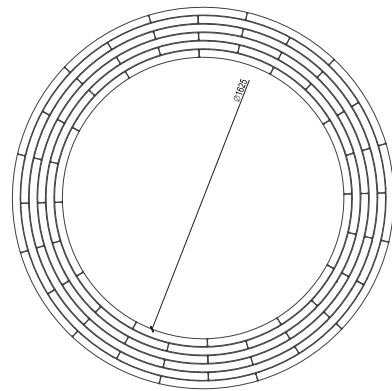
1:20 P-RE-QUE-30

2 BENCH DETAIL MAGLIN OR APPROVED EQUAL

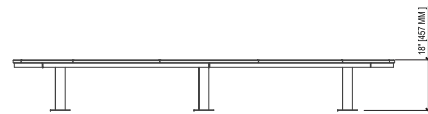
1:20 P-RE-QUE-21

3 WOODEN PICKET FENCE 1070 MM HEIGHT

1:20 P-RE-QUE-27



MAGLIN SITE FURNITURE INC.
27 BYSHAM PARK DR.
WOODSTOCK, ON, N4T 1P1
TEL: 800-716-5506
FAX: 877-260-9393

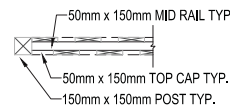
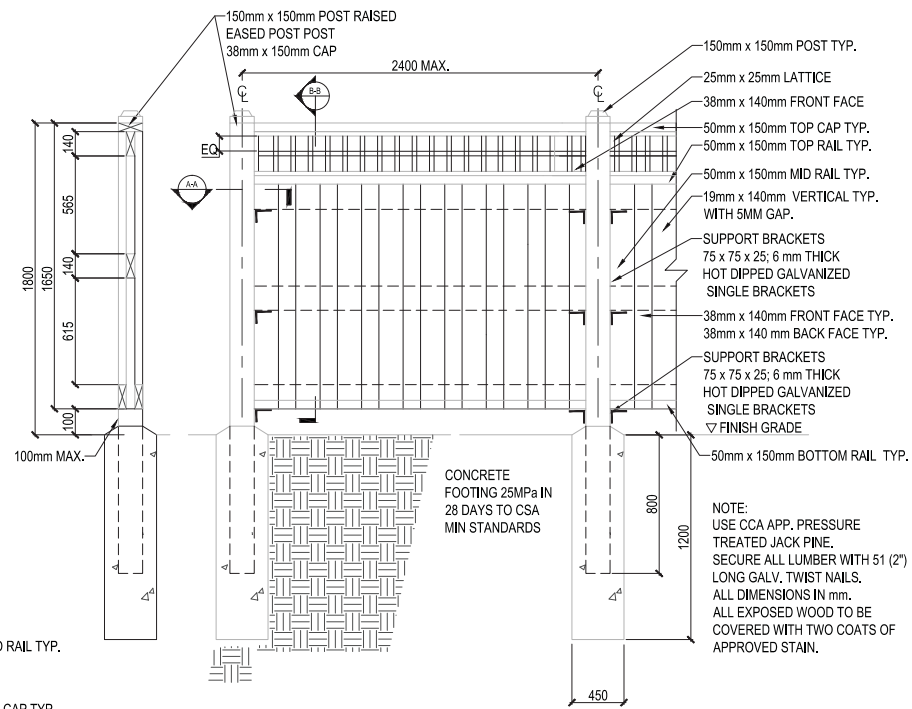


THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF MAGLIN SITE FURNITURE INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF MAGLIN SITE FURNITURE INC. IS PROHIBITED.

| | | | |
|-------------------------------------|-------------------|-------------------|--------------------|
| TITLE: 100 INCH INSIDE RADIUS BENCH | | DWG. NO: MLCB440 | APPR.: T.F. |
| PART NO: MLCB440 | | REV: 0 | SHEET: 1 OF 1 |
| SCALE (A): 1:36 | WEIGHT: 566.29LBS | DATE: JUL/25/2012 | DRAWN BY: J. SCOTT |

4 CIRCULAR BENCH DETAIL MAGLIN OR APPROVED EQUAL

1:20 P-RE-QUE-23



SECTION A-A SECTION B-B

ELEVATION

NOTE: STAIN TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO COMPLETION. SAMPLE TO BE PROVIDED FOR APPROVAL

5 1800 MM (6'-0") WOOD FENCE WITH LATTICE

1:20 P-RE-QUE-25

| | | | |
|----|---------------------------|------------|----|
| 03 | REVISED PER TOWN COMMENTS | 2015-03-17 | JD |
| 02 | REVISED PER TOWN COMMENTS | 2015-02-19 | JD |
| 01 | FOR TOWN REVIEW | 2014-09-03 | JD |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

terraplan LANDSCAPE ARCHITECTS
20 Champlain Blvd., Suite 102
Toronto, Ontario, M5H 2Z1, Canada
Tel: (416) 638-4911 Fax: (416) 638-4261

Email: terra@terraplan.ca Web: www.terraplan.ca

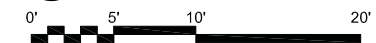
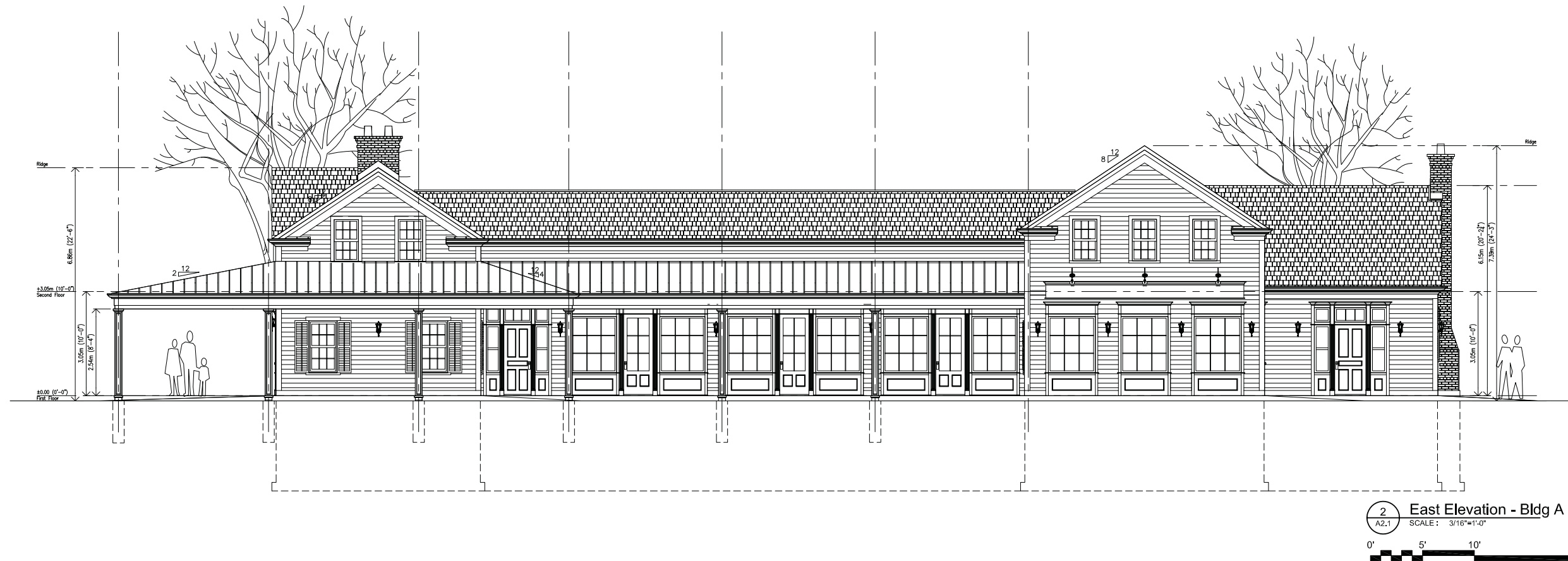
PROPOSED COMMERCIAL DEVELOPMENT
135 QUEEN STREET
NIAGARA ON THE LAKE
ONTARIO

LANDSCAPE DETAILS

| | |
|--------------|-----------|
| DRAWN: | JD |
| CHECKED: | JD |
| SCALE: | NTS |
| DATE: | SEPT 2014 |
| PROJECT NO.: | 14-180 |



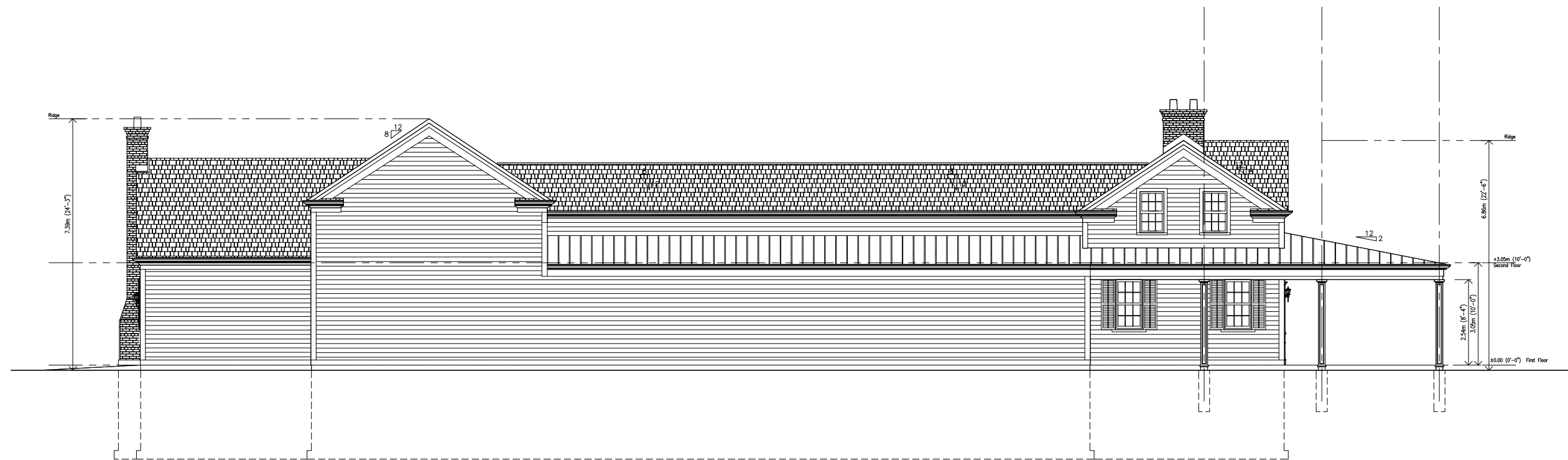
SHEET NO: L-304 March 17, 2015



Proposed
Commercial
Development

135 Queen Street, NOTL

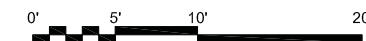
Building A
Elevations



Proposed
Commercial
Development

135 Queen Street, NOTL

Building A
Elevations





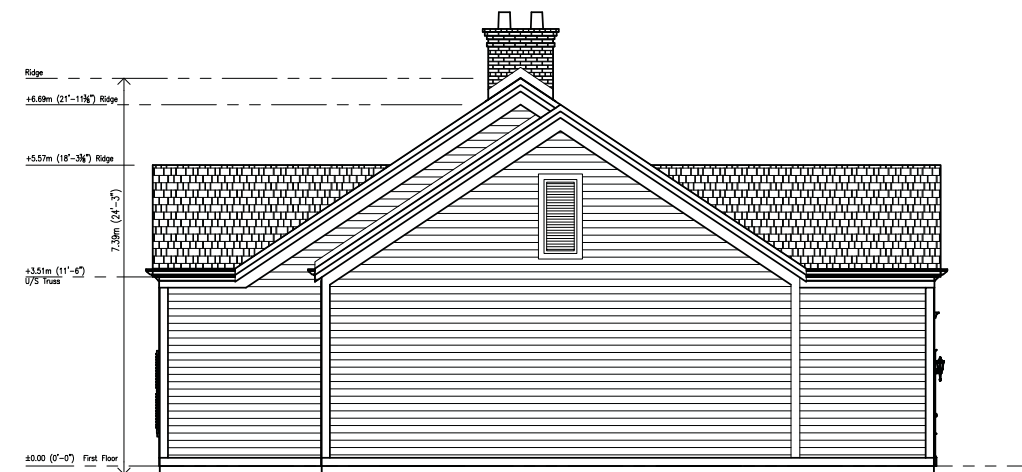
1 South Elevation - Bldg B
A2.3 SCALE: 3/16"=1'-0"



2 East Elevation - Bldg B
A2.3 SCALE: 3/16"=1'-0"



3 North Elevation - Bldg B
A2.3 SCALE: 3/16"=1'-0"



4 West Elevation - Bldg B
A2.3 SCALE: 3/16"=1'-0"

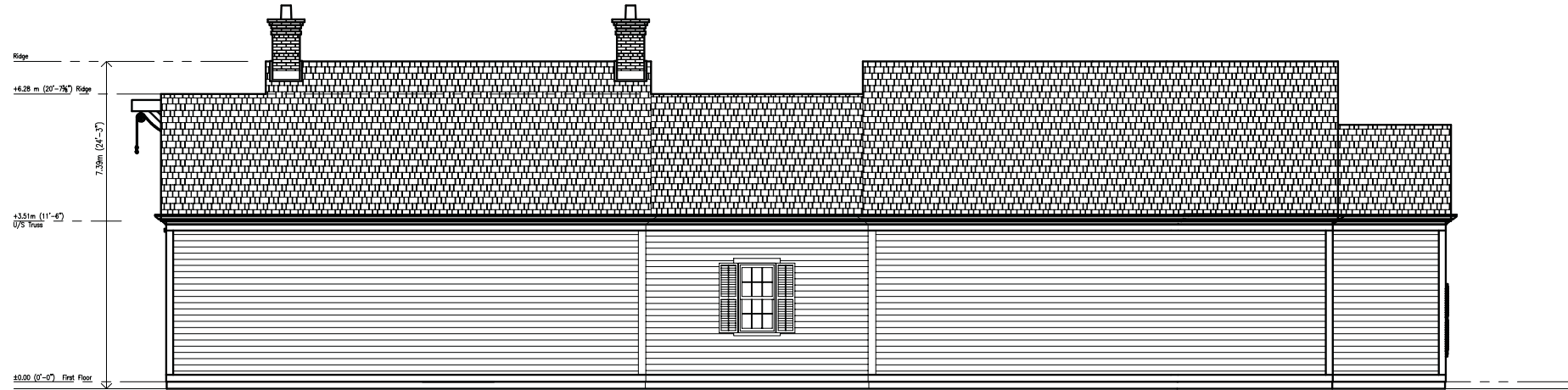
Proposed
Commercial
Development

135 Queen Street, NOTL

Building B
Elevations



1 South Elevation - Bldg C
A2.4 SCALE: 3/16"=1'-0"



2 East Elevation - Bldg C
A2.4 SCALE: 3/16"=1'-0"



3 North Elevation - Bldg C
A2.4 SCALE: 3/16"=1'-0"



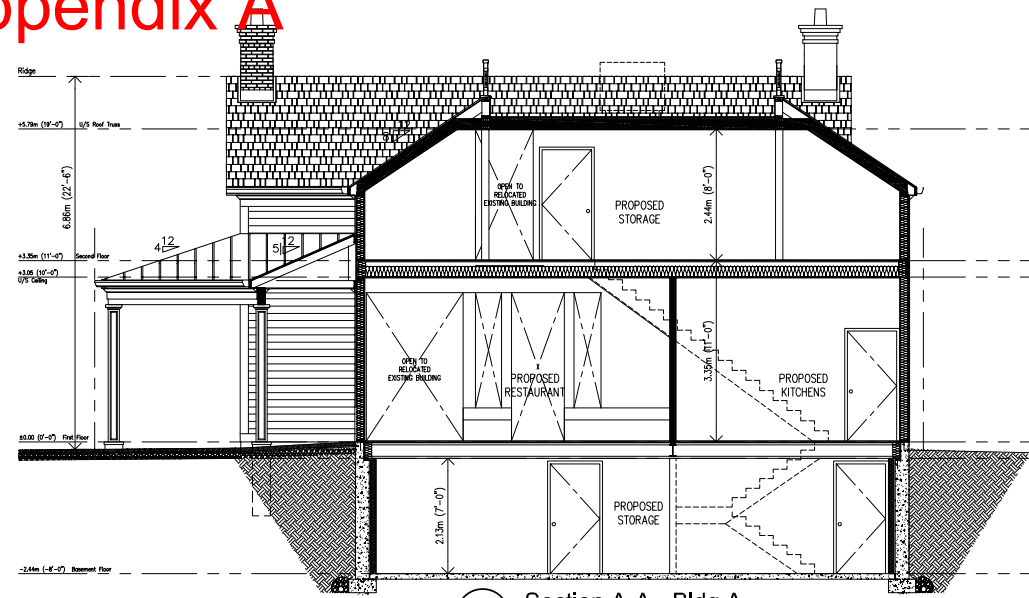
4 West Elevation - Bldg C
A2.4 SCALE: 3/16"=1'-0"

Proposed
Commercial
Development

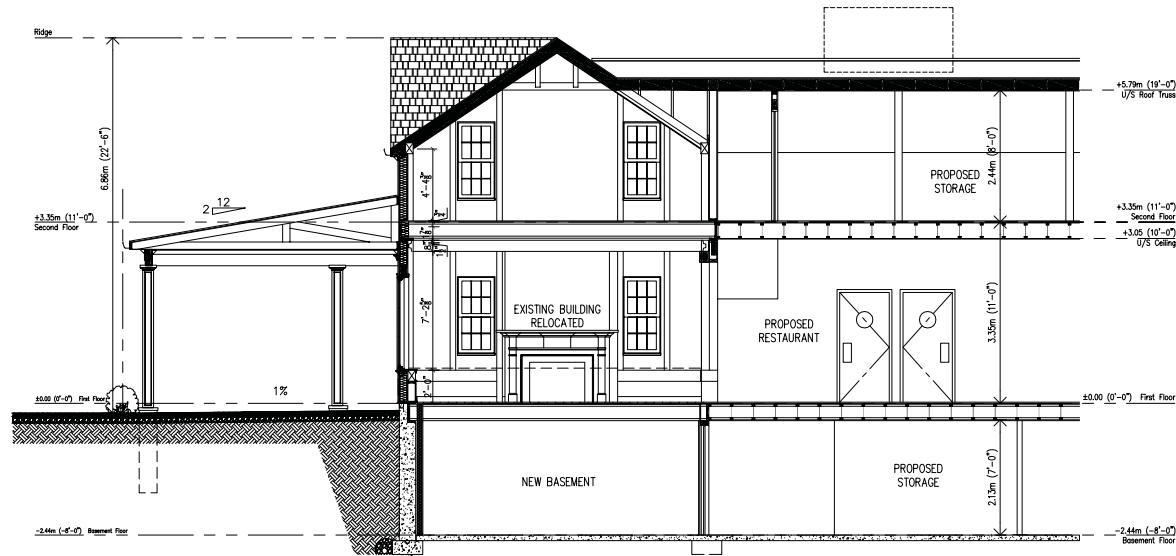
135 Queen Street, NOTL

Building C
Elevations

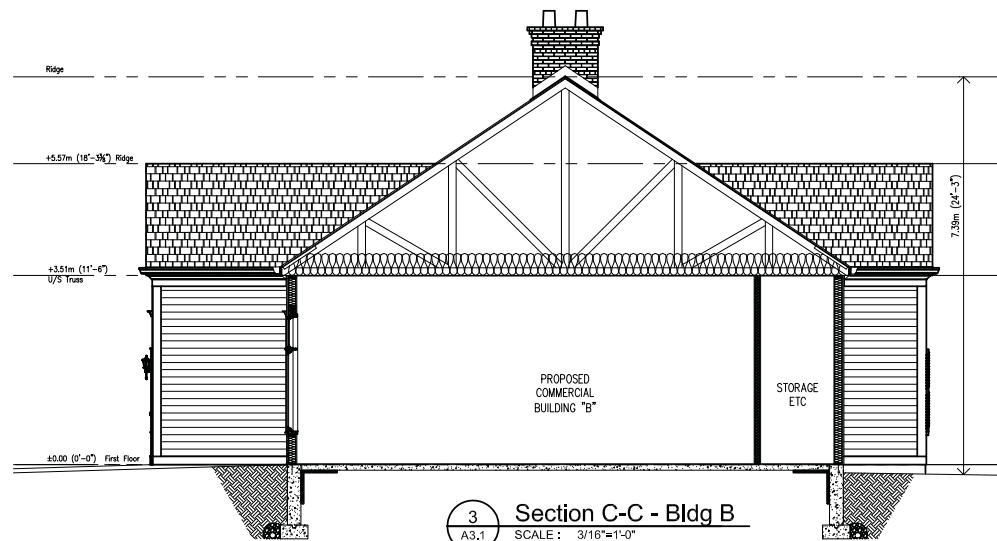
Appendix A



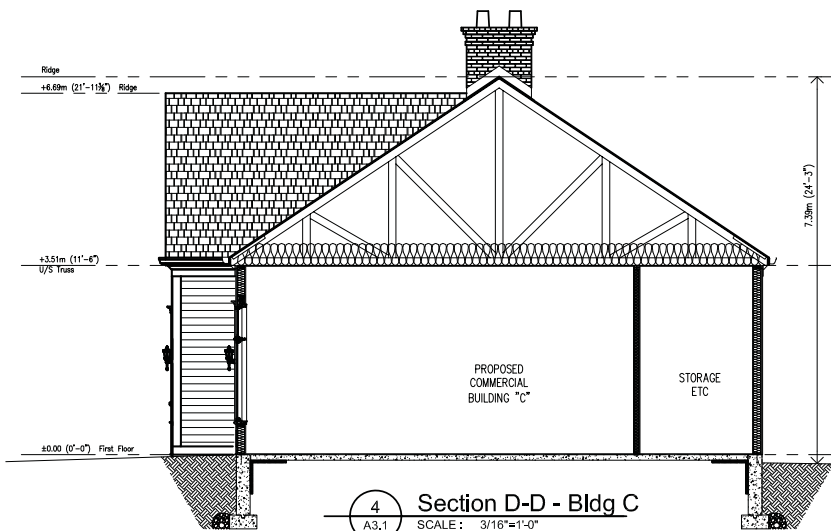
1 Section A-A - Bldg A
A3.1 SCALE: 3/16"=1'-0"



2 Section B-B - Bldg A
A3.1 SCALE: 3/16"=1'-0"

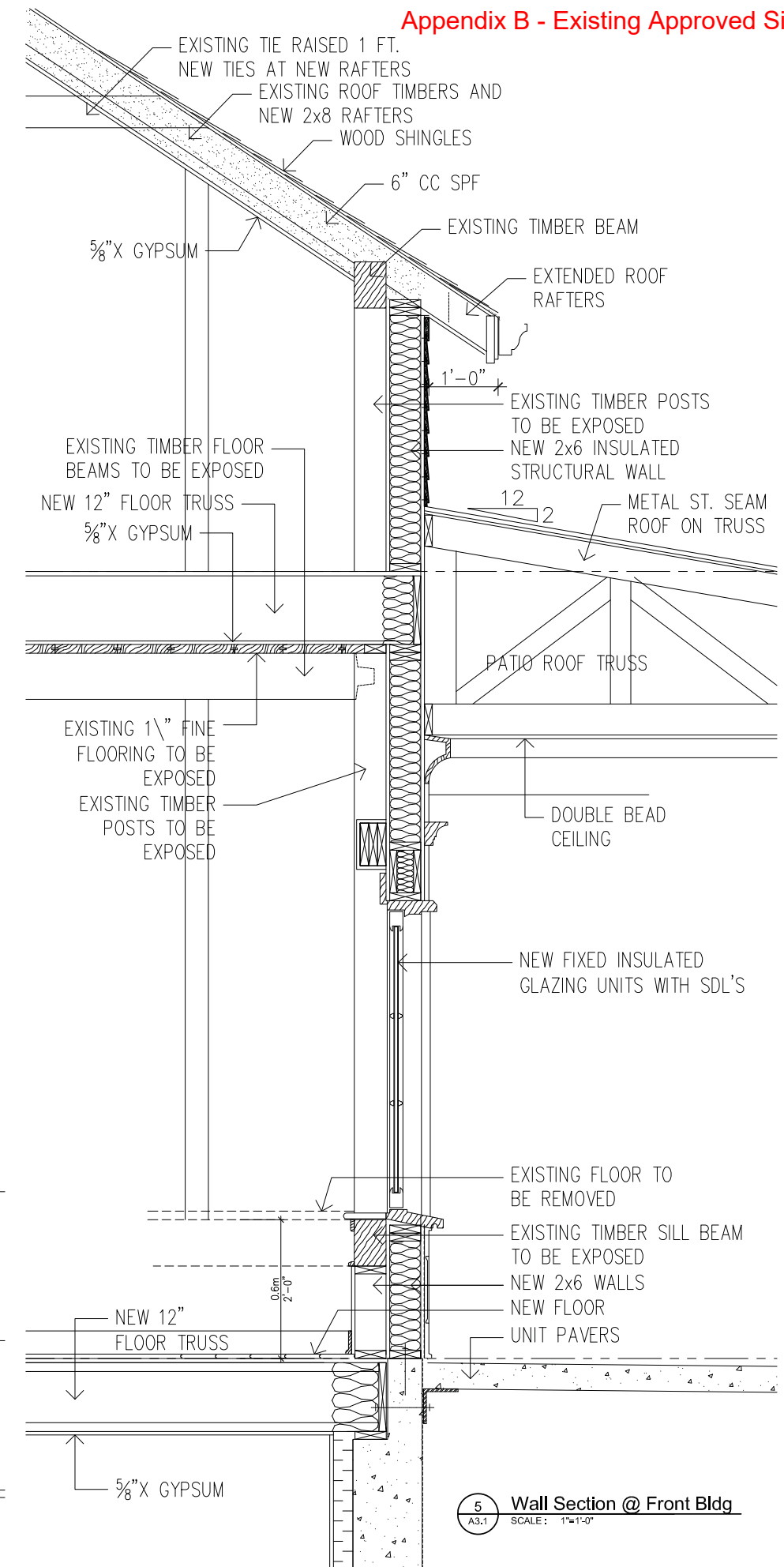


3 Section C-C - Bldg B
A3.1 SCALE: 3/16"=1'-0"



4 Section D-D - Bldg C
A3.1 SCALE: 3/16"=1'-0"

Appendix B - Existing Approved Site Plan



5 Wall Section @ Front Bldg
A3.1 SCALE: 1"=1'-0"

Proposed Commercial Development

135 Queen Street, NOTL

Sections

Denise,

Hope all is well. As always, it was great to see you and to offer personal congratulations!

Thank you again for tabling our Project on the Agenda the other evening. I believe it was a productive discussion with Committee and I truly wanted Members to have a clear picture of what has transpired since it has literally been years of processing.

As noted in your Report and promised, below is an email correspondence from the Ministry of Tourism, Culture and Sport.

The email advises their Archeological requirements for the site along with their support for the mitigation measures we have agreed upon (e.g. servicing via Gate and merging the structures).

Of course, notwithstanding the Ministry's requirements, we remain committed to addressing some of the design concerns raised by yourself and Committee.

This includes the front patio roof and trying to 'break up' the massing wherever possible.

I understand you will be sending along some formal comments, by Committee. Hopefully we can receive these shortly as I would like to file the Site Plan Amendment Application and return to Committee as soon as we can; in line with the ongoing Stage 4 Assessment work being undertaken.

I trust the below written confirmation is helpful and I will be sure to include this in our formal Application Submission.

Thanks Again,

Maurizio

From: Horne, Malcolm (MTCS) [<mailto:Malcolm.Horne@ontario.ca>]

Sent: Thursday, October 12, 2017 2:49 PM

To: Maurizio Rogato

Cc: Archaeology (MTCS)

Subject: Advice re 135 Queen Street and the Cassidy (AhGs-381) Site, Niagara-on-the-Lake, MTCS File 0001712

Hi, Maurizio. Thanks for forwarding the drawings and for providing further information by telephone. I have looked over the two attachments and I do not see anything of concern with the revised Site Plan in regard to the archaeological site or in regard to carrying out the archaeological assessment. As you note, the risk to the archaeological site and the degree of impacts will be reduced by bringing in servicing from the adjacent lands fronting Gate Street and amalgamating the previous three structures into one structure, as opposed to bring in servicing from Queen Street or having three separate structures which would create the need for more restroom facilities and associated service trenches throughout the archeological site. The amended Site Plan will then further reduce the need for trenching for plumbing services within the subject property and consequently reduce the need for impacts to the archaeological site. This aligns with the ministry's position in support of long-term protection of archaeological sites as opposed to excavation.

The Stage 4 strategy for the Cassidy (AhGs-381) archaeological site was developed on the basis of a detailed Stage 3 archaeological assessment. This Stage 4 strategy was developed through extended and detailed negotiations with you, a licensed consultant archaeologist, and this ministry. The work plan and long-term protection strategy is

described in detail in the quoted report recommendations in the attached letter that entered the Stage 3 assessment report into the Register. The letter indicates our support and approval of the Stage 4 strategy.

We are aware that you have retained an archaeological consulting company, Archeoworks Inc., to carry out the Stage 4 strategy and mitigation of impacts. They have submitted the appropriate Project Information Form under licence. They have discussed the project and obtained our advice regarding various aspects of the required Stage 4 work. As part of obtaining that advice, they have informed us regarding the progress of that work and we are satisfied with that progress to date.

The Stage 4 strategy involves an unusual and creative strategy for addressing the impacts to the archaeological site. We appreciate the efforts that you and the proponent have made to address concerns for the archaeological site and to develop a strategy that will minimize the impacts to the archaeological site while still allowing the project to go forward. The Stage 4 strategy will result in appropriate archaeological excavation and documentation for the minimum degree of impacts. Impacts have been reduced by placing the minimum number of concrete pillars at select locations that will support a platform on which the structure can be supported over the archaeological site.

We will be pleased to provide further advice as the Stage 4 work progresses and to expedite the review of reporting as requested.

Please don't hesitate to contact me further regarding this project.

Sincerely,

Malcolm Horne
Archaeology Review Officer
Archaeology Programs Unit
Ministry of Tourism, Culture and Sport
401 Bay Street, Suite 1700
Toronto ON M7A 0A7
Tel. 416-314-7146
Fax 416-314-7175
Email: Malcolm.Horne@ontario.ca



[attachment "ENTERED INTO REGISTER_ Archaeological Report for P302-0075-2015.pdf" deleted by Denise Horne/TownOfNiagara/CA] [attachment "AD1.0.pdf" deleted by Denise Horne/TownOfNiagara/CA] [attachment "15625_2016.10.31_AD0.pdf" deleted by Denise Horne/TownOfNiagara/CA]

NOTICE: This e-mail message (including all attachments) and any printed, copied, saved or