



Department of Community  
& Development Services  
Telephone (905) 468-3266  
Facsimile (905) 468-0301

# The Town of Niagara-On-The-Lake

1593 Four Mile Creek Road  
P.O. Box 100  
Virgil, Ontario  
L0S 1T0

---

**Report:** CDS-19-003 **Committee Date:** February 04, 2019

**Due in Council:**

---

**Report To:** Community & Development Advisory Committee  
**Subject:** File No. SP-08-2018 - 242-246 Four Mile Creek Road & 1397 York Road -  
Application for Site Plan Approval

---

## 1. RECOMMENDATION

It is respectfully recommended that:

- 1.1 The Site Plan Agreement with respect to File No. SP-08-2018 for lands being legally described as Part Lot 90 and known municipally as 242-246 Four Mile Creek Road & 1397 York Road, attached as **Appendix B** to this report, together with the Site Plan, Landscape Plan, and Building Elevations included as **Schedules B1** through **B3**, **C1** and **C2**, and **D1** through **D16** to the Site Plan Agreement, be forwarded to Council for approval.

## 2. PURPOSE / PROPOSAL

The purpose of this report is to provide a recommendation to Council with respect to an application for Site Plan approval to facilitate the development of a mixed-use plaza consisting of commercial and residential uses. The proposed development consists of:

- Building "A" - a mixed-use 2-storey building with additional loft space along York Road, with 4 upper-storey residential units;
- Buildings "B" and "C" - eleven townhouse dwelling units in 3-storey buildings with underground parking proposed; and
- Building "D" - the retention of an existing commercial building.

The proposed development is shown on the Site Plan attached as **Appendix B - Schedule B1**.

## 3. BACKGROUND

### 3.1 Site Description and Surrounding Land Uses

The subject lands, as shown on Map 1: Location Map in **Appendix A**, are located in the Urban Area Boundary of St. Davids, and more specifically within the Village Centre, as identified in the St. Davids Urban Design Guidelines. The subject lands

have a total area of 4,444.83 m<sup>2</sup>, (47,845 ft<sup>2</sup>) and form an L-shape, fronting onto York Road, with the exterior side yard being along Four Mile Creek Road. The subject lands consist of four separate properties: 1397 York Road and 242 Four Mile Creek Road are used for multi-residential purposes. The building located at 246 Four Mile Creek Road, is listed on the Municipal Register of properties of of cultural heritage value or interest, is used as a photography studio. The property to the west of 1397 York Road, and part of this development is a vacant parcel.

Residential land uses abut the subject lands to the south and west. Commercial land uses are located across from York Road to the north and across from Four Mile Creek Road to the east. There is also a dental office that was recently constructed at the opposite corner of Four Mile Creek and York Road. The abutting residential property to the west of the subject lands, known as the Richard Woodruff House, is designated under Part IV of the *Ontario Heritage Act* .

### **3.2 Relevant Past Applications**

On September 17, 2018 Council approved an Official Plan Amendment (OPA 71 - By-law No.4986-17, herein "OPA") and Zoning-By-law Amendment (By-law No. 4316CP-17, herein "ZBA") based on the recommendation of Staff Report CDS-17-038. The ZBA and OPA were appealed and have since been withdrawn.

There have been minor changes to the Site Plan, Landscape Plan and Building Elevations, pertaining to a reduction in the number and design of dormers, species of plants, and number of vehicular accesses from York Road; however, the proposed Site Plan continues to be substantively similar to the development considered by Council in July 2017, and in report CDS-17-038.

## **4. DISCUSSION / ANALYSIS**

### **4.1 Policy and Legislative Framework**

The application for Site Plan Approval has been evaluated for consistency and conformity with the relevant Provincial, Regional, and local planning policies and legislation, as discussed in the following report sections.

#### **4.1.1 Planning Act, R.S.O. 1990**

Section 2 of the *Planning Act* identifies matters of Provincial interest that Council shall have regard to in carrying out its responsibilities under the *Planning Act* . Subsection 3(5) of the *Planning Act* requires that decisions of Council shall be consistent with provincial policy statements and shall conform with provincial plans that are in effect.

Section 41 of the *Planning Act* permits a municipality to designate a Site Plan Control area. Section 41(4) of the *Planning Act* provides that no person shall undertake any development in an area designated as a Site Plan Control Area, unless the Council of the municipality has approved one or both, as the council may determine, of the following:

- 1. Plans showing the location of all buildings and structures to be erected and showing the location of all facilities and works to be provided in conjunction therewith and of all facilities and works required...*
- 2. Drawings showing plan, elevation and cross-section views for each building to be erected...*

Section 41(7) a of the *Planning Act* provides for a range of conditions that a municipality may require, including the requirement to enter into an agreement with the municipality to ensure that development proceeds in accordance with the approved plans and drawings and to ensure the provision of any required facilities or works. Section 41(8) of the *Planning Act* permits the upper-tier municipality to acquire widening of highways that are under the jurisdiction of the upper-tier municipality and that abut on the land.

#### **4.1.2 Provincial Policy Statement, 2014**

The subject property is within a settlement area. Policies 1.1.3.2 and 1.1.3.3 of the Provincial Policy Statement (PPS), encourage a range and mix of land uses, in accordance with applicable criteria. The policies of the PPS were considered for the development at the time that the applications for Official Plan Amendment and Zoning By-law Amendment were approved. The proposed Site Plan continues to be consistent with the PPS.

Staff note that Section 2.6.3 of the Provincial Policy Statement provides as follows:

- 2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

Conserved is defined in the PPS as follows:

*means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.*

Two heritage properties have the potential to be adversely impacted by construction activity proposed by the development: 246 Four Mile Creek Road, located on the lands and listed on the Town's Heritage Resources Register, and 238 Four Mile Creek Road, adjacent to the south and listed on the Town's Heritage Resources Register.

A Heritage Impact Assessment had been completed by Golder Associates, dated December 2016. The Heritage Impact Assessment recommends the provision of a Conservation Plan to guide future rehabilitation and alterations and to ensure that no heritage attributes of 246 Four Mile Creek Road are destroyed. The Heritage Impact Assessment further recommends that extra measures be taken to ensure that the structural integrity and condition of 238 Four Mile Creek Road are protected during the demolition of 242 Four Mile Creek Road. Based on the recommendations of the Heritage Impact Assessment, Staff recommend that prior to construction, a conservation plan be prepared. The purpose of that Plan would be to include descriptions of repairs, stabilization and preservation activities as well as long term conservation, monitoring and maintenance measures. Provided that the requirement for a conservation plan is included within the Site Plan Agreement, Staff have no concerns that the proposed development is consistent with the policies of the PPS.

#### **4.1.3 Provincial Plans**

St. Davids is listed under Section 1.6.2. as a Minor Urban Centre within the Niagara Escarpment Plan (NEP). Objective 1.6.1 (5) of the NEP identifies as one of its objectives to ensure that new development is compatible with the identity and traditional character of Minor Urban Centres. Section 1.6.7 of the Niagara Escarpment Plan provides as follows:

*Land use control within a Minor Urban Centre with an approved official plan and/or secondary plan that is not in conflict with the Niagara Escarpment Plan may be exercised either through by-laws passed under the Planning Act or through Development Control as authorized under the provisions of the Niagara Escarpment Planning and Development Act.*

*By-laws or by-law amendments must not conflict with the Objectives and Development and Growth Objectives of this designation, and the Development Criteria in Part 2 of the Niagara Escarpment Plan.*

Objective 1.6.8(6) of the NEP provides that development and growth should be minor only, relative to the size and capacity of the settlement to absorb new growth, so that the community character is maintained.

The proposed development was considered to conform to the policies of the NEP with the applications for Official Plan Amendment and Zoning By-law Amendment. The proposed Site Plan application continues to conform to the policies of the NEP.

#### **4.1.4 Regional Official Plan**

The subject lands are designated "Built-up Area" on Schedule A of the Regional Official Plan (ROP). Policy 4.C.2.1 of the ROP requires that local official plans shall:

b) *Generally encourage intensification throughout the Built-up Area;*



The proposed development was considered to conform to relevant intensification policies of the ROP at the time that the applications for Official Plan Amendment and Zoning By-law Amendment were approved by Council.

Policy 9.C.7 and 9.C.9 of the Regional Official Plan provide as follows:

9.C.7 *The widths for Regional Road allowances are designated in the Table titled "Road Allowance Widths". Each Regional Road allowance which is not presently at its designated width is a highway to be widened.*

9.C.9 *The Region shall minimize public expenditures by acquiring road allowance widenings as a condition of planning approval of development applications. The Region recognizes the direct benefits of road widenings to property that is developed.*

The subject property has frontage along two Regional Roads: York Road (RR 81) and Four Mile Creek Road (RR 100). Both of these road allowances are undersized and widenings will be required along each frontage. Along the boundaries of the lands, the ROP designates road allowance widths for York Road (RR 81) as 26.2 metres and for Four Mile Creek Road (RR 100) as 20.1 metres. In order to achieve the required widths, a 3.05 metre widening across the frontage along York Road (RR 81) of the subject property, and a 2.0 metre widening across the frontage along Four Mile Creek Road (RR 100) of the subject property are required. Conditions with respect to Road Widening have been included in the Site Plan Agreement.

#### **4.1.5 Official Plan**

The lands are identified as being within the Established Village Area of the St. Davids Special Policy Area (A-3) and all the lands except for the vacant parcel of land along York Road are identified as being with the Village Centre in the St. Davids Urban Design Guidelines. The Town Official Plan provides that within the Established Village Area "parking for new commercial buildings shall be located in rear yards."

In July 2017 an Official Plan Amendment was passed to allow for the development of the lands which had the effect of expanding the area designated for commercial use. The subject lands are presently designated "EX-COM-4" at the front, where commercial uses are contemplated and "Low Density Residential" at the rear where townhouse dwelling units are contemplated, as shown on **Map 2 in Schedule A**.

The EX-COM-4 designation allows for the establishment of commercial uses in accordance with the policies of the "General Commercial" designation of the Town Official Plan. There was also a site-specific exemption granted from the Established Village Area policies, having the effect of exempting the mixed-use plaza from the requirement of parking being required in the rear yard only.

An Official Plan Amendment was not considered to be required for the rear to allow

for the development of eleven townhouse dwelling units, as proposed at the time.

While there have been minor revisions to the proposed Site Plan as discussed in Section 3.2 of this report, Staff consider the Plan to continue to conform to the relevant policies of the Official Plan.

#### **4.1.6 Zoning By-law**

The lands were rezoned in July 2017 to "St. Davids Community Zoning District - Residential (VC-26)" and St. Davids Community Zoning District (RM1-26) to facilitate the proposed development. The proposed Site Plan, with minor modifications as discussed in Section 3.2 of this report complies with the approved zoning.

#### **4.2 Consultation**

The application has been circulated for comments to external Town departments and agencies for comments. The following is a summary of the comments that were received:

##### **4.2.1 Town Department and Agency Consultation**

###### Town Comments:

Building – No objection.

Corporate Services – No objection.

Fire and Emergency Services – No objection. The department requests that hydrant is accessible in all directions, and visible from the road when approaching.

Heritage Planner– No objection. The property is identified as being within the Zone of Archaeological Potential. An archaeological assessment has been completed and an archaeological compliance letter has been received, recommending that no further archaeological assessment is required. The proposed development was considered for comments by the Town Municipal Heritage Committee (MHC) on March 22, 2017, due to the presence of built heritage resources both on the subject lands and in the vicinity, including 1385 York Road (adjacent to the west and designated under Section 29 of the *Ontario Heritage Act* ), 246 Four Mile Creek Road (located on the subject lands and listed on the Town's Heritage Resources Register), and 238 Four Mile Creek Road, (adjacent to the south and listed on the Town's Heritage Resources Register). It was determined that there were no impacts to the adjacent designated property, 1385 York Road. The MHC was also in support of requesting a conservation plan for when construction on the properties take place.

Operations – No objection.

Urban Design – No objection. Comments pertaining to Site Plan, Landscape Plan, Building Elevations were considered at the time of Official Plan and Zoning By-law Amendment. The Landscape Plan has been recirculated through email to the Urban Design Committee with this application. The Landscape Plan had been revised

based on email comments of the Committee. There have been minor changes to the Site Plan and Building Elevations since the time that the original application was considered by Council, however, the plan remains substantively similar to that which had been considered by the Urban Design Committee.

#### Agency

Region of Niagara – No objection. The Region has provided a comprehensive list of comments and requests in regard to the proposed site plan, which have been considered in the review of the application. Revisions to the drawings have been made accordingly. Suggestions for revisions have been provided by the Region in regard to the proposed Landscape Plans.

Town Staff note that most of the suggested revisions of the Region have not be incorporated in the current plans. However, there has been extensive Town review of the Landscape Plans, through its Urban Design Committee, addressing similar matters. As such, Staff are not concerned with the proposed Landscape Plans.

Enbridge - No objection.

Agency comments are attached as **Appendix C** to this report.

### **5. STRATEGIC PLAN**

Not applicable.

### **6. OPTIONS**

Not applicable.

### **7. FINANCIAL IMPLICATIONS**

As no new infrastructure is required to service this development, no additional long term costs will be incurred by the Town as a result of the development of this property.

Prior to the execution of the final agreement by the developer and the Town, the developer will be required to provide fees and securities as set out in the agreement.

After the execution of the agreement, the agreement will be registered on the title of the subject lands.

### **8. COMMUNICATIONS**

The Owner will be notified of the decision of Council and if approved will be required to enter into the Site Plan Agreement. The Owner will have the right to appeal the decision of Council to the Local Planning Appeal Tribunal.

### **9. CONCLUSION**

Staff have reviewed and are recommending approval of the application for Site Plan

Approval, as the proposal is consistent with and conforms to the applicable Provincial, Regional and local land use planning policy and legislation. The Site Plan Agreement attached as **Appendix B**, is required in order to ensure that the development proceeds in accordance with the approved plans.

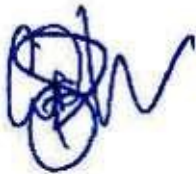
**Respectfully Submitted,**



**Jesse Auspitz, MCIP, RPP  
Planner II**



**Eric Withers, MCIP, RPP  
Manager of Planning**



**Craig Larmour  
Director of Community  
& Development Services**



**Holly Dowd  
Chief Administrative Officer**

ATTACHMENTS



Appendix A - Maps.pdf Appendix B - Site Plan Agreement - 2019-01-18.docx Appendix B - Schedule B.pdf



Appendix B - Schedule C.pdf Appendix B - Schedule D.pdf Appendix C - Consolidated Agency Comments.pdf

WEB ATTACHMENTS

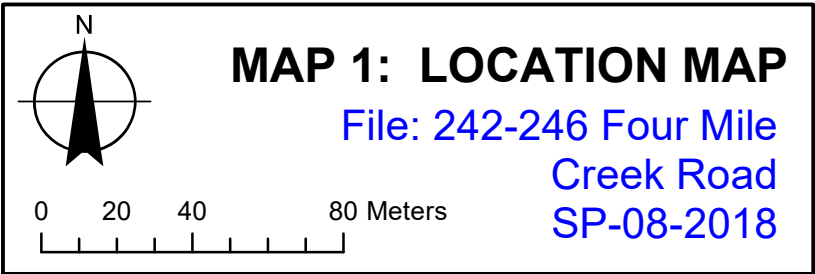
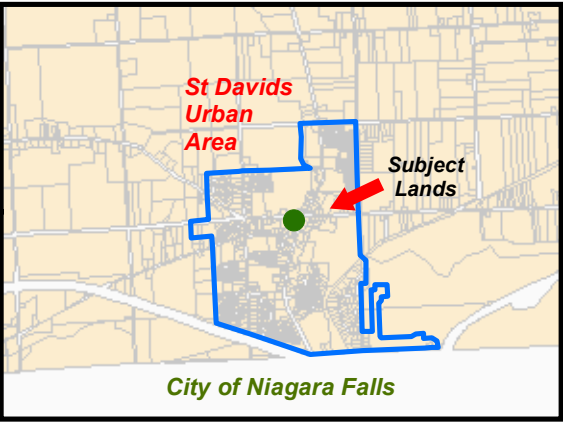
ATTACHMENTS FOR LINK

---

First Capital of Upper Canada - 1792



Key Map



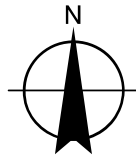
1:2,000







0 10 20 40 Meters

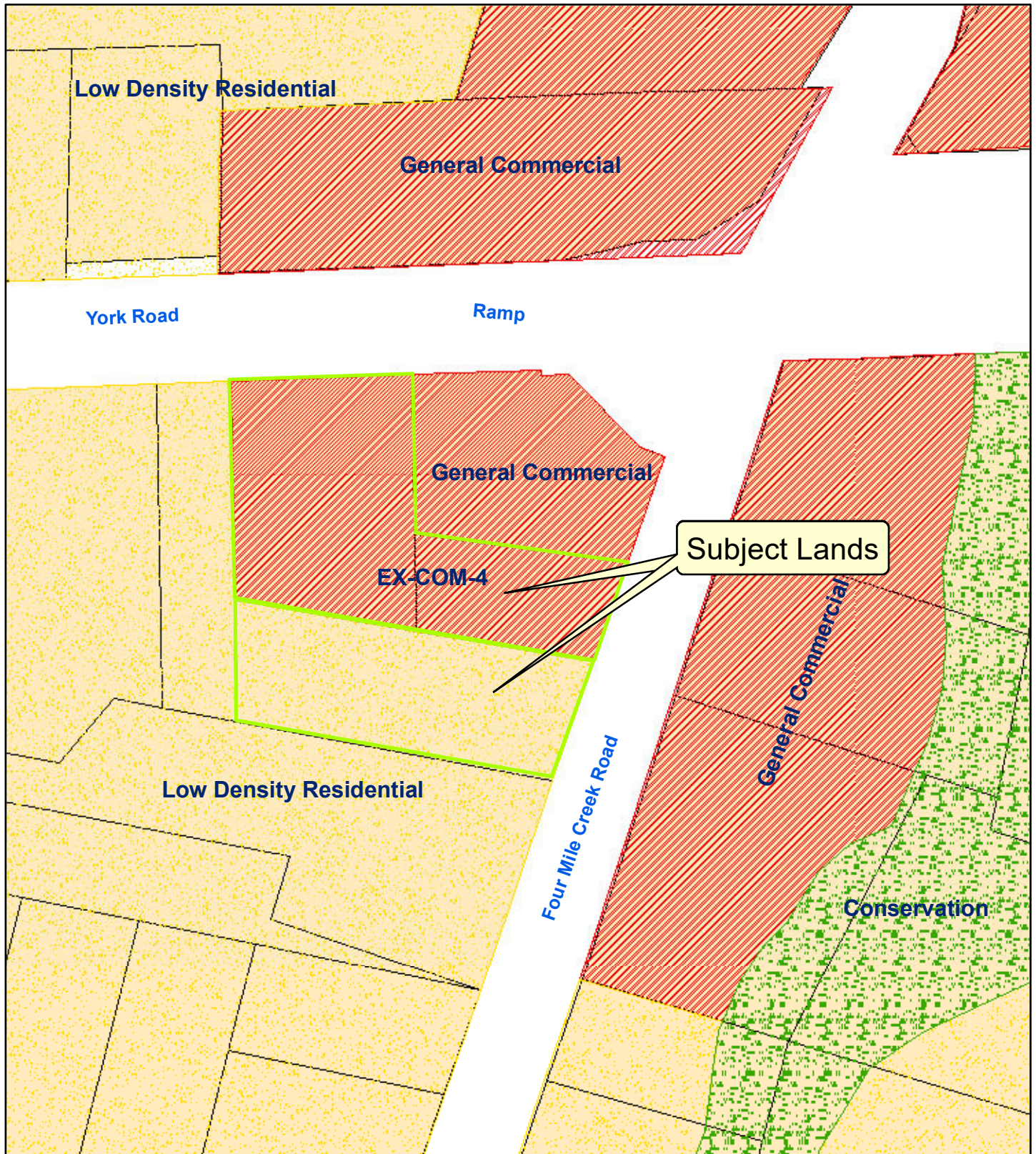


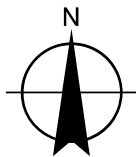
1:1,000

## MAP 2: OFFICIAL PLAN

*Land Use Designations*

File: 242-246 Four Mile Creek Road  
SP-08-2018



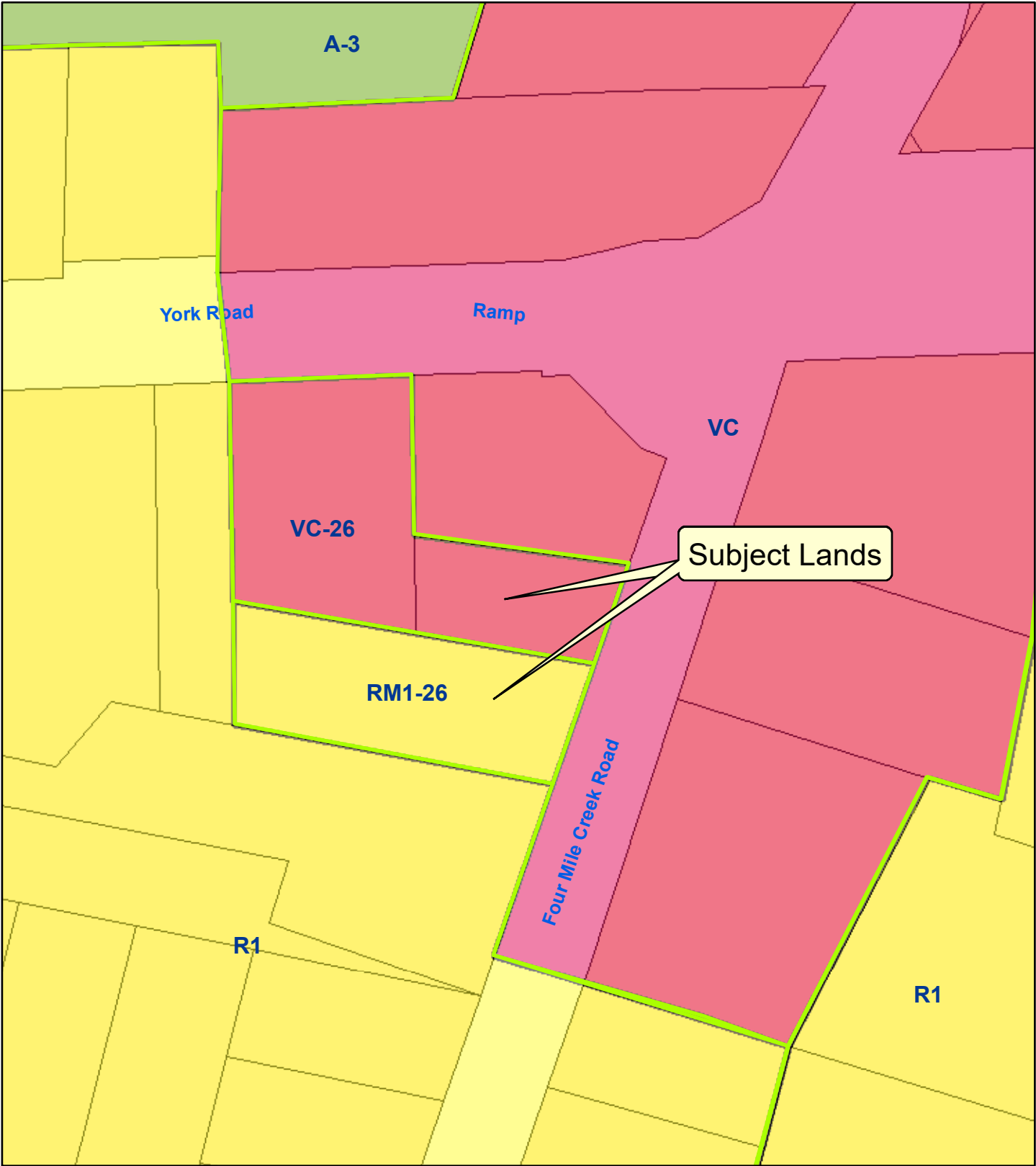


1:1,000

**MAP 3: ZONING**

*As per Zoning By-law 4316-09, as amended*

File: 242-246 Four Mile Creek Road  
SP-08-2018





**THIS AGREEMENT** made this XXth day of XXX 2019.

BETWEEN:

THE CORPORATION OF THE TOWN  
OF NIAGARA-ON-THE-LAKE  
(Hereinafter called the 'Town')

OF THE FIRST PART

-and-

1913954 ONTARIO INC  
(Hereinafter called the 'Owner')

OF THE SECOND PART

and-

SLEEK DEVELOPMENTS (MORTGAGEE)  
(Hereinafter called the 'Mortgagee')

OF THE THIRD PART

**WHEREAS** the Owner represents that it is the registered Owner of the lands known municipally as 242-246 Four Mile Creek Road and 1397 York Road, legally described as Part Lot 90, Town of Niagara-on-the-Lake, in the Regional Municipality of Niagara, hereinafter referred to as 'the lands';

**AND WHEREAS** the Owner has applied for Site Plan Approval to permit the construction of a mixed-use plaza consisting of commercial and residential town house uses, in accordance with Schedule B1 through B3 (Site Plan), Schedule C1 and C2 (Landscape Plan) and Schedule D1 through D16 (Architectural Elevations) attached hereto, all of which plans and design standards shall comply with the Ontario Building Code, and with all the Town building and Zoning By-law requirements;

**AND WHEREAS** the Council of the Corporation of the Town of Niagara-on-the-Lake has approved this agreement and authorized its execution by the Corporation of the Town of Niagara-on-the-Lake on the 11<sup>th</sup> day of February, 2019;

**AND WHEREAS** the Town has agreed to permit the said development subject to the terms and conditions prescribed herein;

**NOW THEREFORE THIS AGREEMENT WITNESSETH** that in consideration of the premises, and the sum of One Dollar (\$1.00) of lawful money of Canada now



paid by the Owner to the Town, the receipt of which monies is hereby acknowledged; the parties hereto do mutually covenant and agree as follows:

## **1. DEFINITIONS**

- 1.1. 'Approved Plans' shall mean plans approved and signed by the Lord Mayor and Town Clerk of the Corporation of the Town of Niagara-on-the-Lake and Owner depicting the proposed development. **Schedule B1 through B3 (Site Plan), Schedule C1 and C2 (Landscape Plan) and Schedule D1 through D16 (Architectural Elevations)** of this agreement are a reduced copy of the approved plans on file with the Community and Development Services Department of the Town of Niagara-on-the-Lake.
- 1.2. 'Chief Building Official' shall mean the Chief Building Officer of the Corporation of the Town of Niagara-on-the-Lake or their designate.
- 1.3. 'Council' shall mean the Council of the Corporation of the Town of Niagara-on-the-Lake.
- 1.4. 'Director of Community & Development Services' shall mean the Director of Community and Development Services of the Corporation of the Town of Niagara-on-the-Lake or their designate.
- 1.5. 'Director of Corporate Services' shall mean the Director of Corporate Services of the Corporation of the Town of Niagara-on-the-Lake or their designate.
- 1.6. 'Director of Operations' shall mean the Director of Operations of the Corporation of the Town of Niagara-on-the-Lake or their designate.
- 1.7. 'Fire Chief' shall mean the Fire Chief of the Corporation of the Town of Niagara-on-the-Lake or their designate.
- 1.8. 'Lands' shall mean the lands as described in Schedule A attached hereto.
- 1.9. 'Town' shall mean the Corporation of the Town of Niagara-on-the-Lake.

## **2. STORMWATER MANAGEMENT**

- 2.1. Prior to the issuance of a building permit, the Owner shall submit servicing plans for approval and, at its own expense, construct such works as may be required to collect and contain all stormwater on site and channel such stormwater to an approved outlet in accordance with specifications and plans approved by the Director of Operations and filed in the office of the Director of Operations. In this paragraph, stormwater shall include all surface water on the land including roof run-off, eavestroughs, surface catch basins and water from the foundation perimeter-weeping tile.
- 2.2. Any alteration or improvements to the existing services will be at the Owner's expense.

- 2.3. The Owner agrees to, at its own expense, repair, forever maintain, and, where necessary, replace any stormwater system located on the lands identified in Schedule A attached hereto.
- 2.4. That where the stormwater system has not been maintained, the Director of Operations or their designate may enter upon the lands after reasonable notice having been given to the Owner, and affect such repairs as are deemed necessary and recover the costs thereof by action or in like manner as municipal taxes.

### **3. SANITARY SERVICES**

- 3.1. Prior to the issuance of a building permit, the Owner shall submit servicing plans for approval and, at its own expense, construct such sanitary services as may be required to service the approved development.
- 3.2. Any alteration or improvements to any existing sanitary service will be at the Owner's expense and subject to approval of the Director of Operations.
- 3.3. All underground servicing must be approved and inspected by the Town.
- 3.4. The Owner agrees to, at its own expense, repair, forever maintain, and, where necessary, replace any sanitary sewer system located on the lands identified in Schedule A attached hereto.
- 3.5. That where the sanitary sewer system has not been maintained, the Director of Operations or their designate may enter upon the lands after reasonable notice having been given to the Owner, and affect such repairs as are deemed necessary and recover the costs thereof by action or in like manner as municipal taxes.

### **4. WATER SERVICES**

- 4.1. Prior to the issuance of a building permit, the Owner shall submit servicing plans for approval and, at its own expense, construct such water distribution systems as may be required to service the approved development.
- 4.2. Any alteration or improvements to any existing water service will be at the Owner's expense and subject to approval of the Director of Operations.
- 4.3. All underground servicing must be approved and inspected by the Town.
- 4.4. The Owner agrees to install any required fire hydrants in accordance with the Ontario Building Code.

- 4.5. All fire hydrant protection identified in this agreement shall be in working order and capable of being utilized prior to commencement of above ground construction.
- 4.6. Where fire hydrants have been installed but are not yet functional or are out of service, the hydrant shall be clearly identified (bagged) as to be not in service.
- 4.7. All fire hydrants are to be visible and accessible at all times. Fire hydrants must be clear and accessible for a minimum distance of 3' in all directions. A 45 degree clear angle shall be maintained in both directions from the hydrant to the road so it visible from the road when approaching.
- 4.8. The Owner agrees to, at its own expense, repair, forever maintain, and, where necessary, replace any water distribution system located on the lands identified in Schedule A attached hereto.
- 4.9. That where the water distribution system has not been maintained, the Director of Operations or their designate may enter upon the lands after reasonable notice having been given to the Owner, and affect such repairs as are deemed necessary and recover the costs thereof by action or in like manner as municipal taxes.

## **5. PARKING AND ROADWAY**

- 5.1. The Owner shall, at its own expense, construct and at all times maintain parking facilities on the lands in accordance with **Schedule B1 through B3** attached hereto, and to the specifications and design as approved by the Director of Community and Development Services. The surface treatment of all parking areas shall be as indicated on **Schedule B1 through B3** attached hereto.

## **6. ROADS AND ENTRANCEWAYS**

- 6.1. The final design of all access driveways and entranceways shall be subject to the approval of the Director of Operations.
- 6.2. All roads, entranceways, and the emergency access route must conform to the requirements of the Fire Chief and meet Ontario Building Code Standards.
- 6.3. The Owner agrees to maintain all access and interior driveways year-round, including but not limited to snow removal, to the satisfaction of the Fire Chief.
- 6.4. The Owner shall obtain, prior to any construction taking place within a Regional road allowance, a Regional Construction Encroachment Permit and Entrance Permit, as required, from the Region of Niagara Transportation Services Division.

## **7. LIGHTING/FLOODLIGHTING**

- 7.1. All site lighting shall be constructed, forever maintained, and replaced as necessary, in accordance with plans and specifications approved by the Director of Community and Development Services.
- 7.2. The requirement for approval of lighting plans and specifications may be waived by the Director of Community and Development Services at his sole discretion.
- 7.3. Notwithstanding any waiver of approval of lighting plans and specifications, the Owner shall at all times comply with the Town's by-laws, standards and policies in respect of lighting.
- 7.4. Any changes to the approved site lighting or additional lighting of the building or site will require that the Owner submit a revised lighting plan and specifications for review and approval by the Director of Community and Development Services, prior to undertaking any installations.

## **8. LANDSCAPING**

- 8.1. The Owner shall, at its own expense, landscape the lands in accordance with **Schedule C1 and C2** attached hereto, and to the specifications and design as approved by the Director of Community and Development Services.
- 8.2. The Owner shall forever maintain all landscaping in accordance with specifications and plans approved by the Director of Community and Development Services.
- 8.3. The Owner shall maintain all plantings in a healthy condition, and all dead or diseased plantings shall be replaced within eight (8) months from the time the dead or diseased plantings are recognized.

## **9. NOISE ATTENUATION**

- 9.1. The Owner agrees that all external air conditioners, ventilation systems, exhaust fans or other similar mechanical equipment shall be directed away from abutting properties and screened from view or otherwise located on the subject lands so as to attenuate noise impact on neighbouring residential properties, to the satisfaction of the Director of Community and Development Services.

## **10. GARBAGE DISPOSAL & STORAGE**

- 10.1. The Owner shall, at all times, provide adequate facilities for the collection and disposal of garbage, sanitary refuse and commercial waste in accordance with Provincial legislation, Regional Policy and Town By-laws, and in the event of its failing so to do, the Town or its agents shall have the right to enter upon the lands and, at the expense of the Owner, undertake the collection and disposal and recover the costs thereof by action or in like manner as municipal taxes.

- 10.2. That the development shall be in accordance with Region of Niagara's Corporate Policy for waste collection in order to receive Regional curbside recycling and waste collection, and that otherwise waste collection shall be the responsibility of the Owner through a private contractor and not Region of Niagara.
- 10.3. The storage, collection and disposal of refuse, garbage and waste in the development shall be so conducted as to create no health hazards, rodent harbourage, insect breeding areas, accident, fire hazards or pollution. This responsibility will rest entirely on the Owner.
- 10.4. All refuse, garbage and waste must be stored in waterproof, vermin proof, and covered containers.

## **11. SIGNAGE**

- 11.1. The Owner agrees that any signage located on the subject lands shall be in accordance with the approval of the Director of Community and Development Services and in compliance with the Town's Sign By-law and Ontario Building Code.
- 11.2. The owner shall, prior to any construction on a property adjacent to a Regional road allowance, obtain any required Regional sign permit.

## **12. ENGINEERING, LEGAL AND INSPECTION COSTS**

- 12.1. The Owner agrees to deposit with the Town, prior to any works commencing on site, and to keep in full force and effect until completion of all on-site and off-site construction and services set out herein, an irrevocable letter of credit or security deposit as set out in **Schedule E** to this agreement, including but not limited to the cost of water services, sanitary services, stormwater management systems, surface treatments, landscaping, fencing, grading and similar elements as per the approved plans, to ensure that all terms of this agreement are fulfilled and that the site is left in a safe and tidy condition.
- 12.2. The required amount of the letter of credit or security deposit may be increased by the Town at any time and at its sole discretion, as required to ensure the completion of all on-site and off-site services to the satisfaction of the Town. Upon notification by the Town of an increase in the required amount, the Owner agrees to immediately deposit the additional letter of credit or security deposit amounts with the Town.
- 12.3. The Owner's Engineer shall, as part of the submission of engineering plans, submit construction cost estimates, and number of working days for the construction of the following off-site and on-site services in writing, for the approval of the Director of Operations as applicable:
  - 12.3.1. Sanitary and storm sewers and appurtenances;

- 12.3.2. Water service and appurtenances;
  - 12.3.3. Pavements, including granular base, sidewalks and curbing;
  - 12.3.4. Stormwater management systems; and
  - 12.3.5. Landscaping/Lighting.
- 12.4. The Owner shall, prior to the issuance of a building permit, pay a cash deposit, as set out in **Schedule E** to this agreement, representing the estimated cost of off-site and on-site inspections, prior to the issuance of a building permit, which is based on the following criteria:
- 12.4.1. The estimated cost of the inspection fees shall be based on the estimated number of working days and the daily inspection costs as established by the Town.
  - 12.4.2. The actual inspection fees shall be based on the actual number of working days and the daily inspection costs as established by the Town.
- 12.5. The Owner shall, prior to the issuance of a building permit, pay a cash deposit, as set out in **Schedule E** to this agreement, to ensure that during construction of the development the site will be kept in a reasonably tidy condition so that the raising of dirt and dust is kept to a minimum, and to further ensure that all roads adjacent to and in the vicinity of the development are kept clean of mud and debris, and that any standing water is eliminated.
- 12.6. The Owner shall, prior to the issuance of a building permit, pay a cash deposit, as set out in **Schedule E** to this agreement, against the cost of reparations to any off-site damages that may occur during construction, the actual cost of such reparations to be at the Owner's sole expense and recoverable by action or in like manner as municipal taxes.
- 12.7. All securities for the works contemplated herein shall be released after a one (1) year maintenance period following completion of the works. The exact dates of commencement and completion of the maintenance period shall be at the sole discretion of the Town.

### **13.DEVELOPMENT CHARGES**

- 13.1. Prior to the issuance of a building permit, the Owner shall pay to the Town all applicable Development Charges in accordance with the current Town and Regional by-laws and policies.

### **14.PARKLAND DEDICATION**

- 14.1. Prior to the issuance of a building permit, the Owner shall, in accordance with section 42 of the *Planning Act*, pay cash-in-lieu of parkland dedication, to the satisfaction of the Town. The amount of cash-in-lieu of parkland dedication shall be based on an appraisal

prepared by a qualified professional, which shall be submitted for approval by the Town, all at the Owner's expense.

## **15. GRADING**

- 15.1. Prior to the issuance of a building permit, the Owner shall submit a grading plan for approval by the Director of Operations. Specifications and design shall be approved by the Director of Operations and subsequent plans shall be filed in the office of the Chief Building Official prior to the commencement of any site work.
- 15.2. The Owner agrees to construct and grade the lands in accordance with the plans certified by and filed in the office of the Director of Operations.
- 15.3. The grading plans shall require grades to be established and maintained which will ensure proper drainage without interference with or flooding of adjacent properties and will retain all stormwater as required under **Section 2**, Stormwater Management, of this agreement. Any deviation from such grades shall constitute a violation of this agreement.
- 15.4. Any change to any grading plans certified and approved pursuant to this agreement may require the submission of revised drawings prepared by an Ontario Land Surveyor or Professional Engineer and approved by the Director of Operations.
- 15.5. The Owner agrees to submit 'as constructed' grading plans for any changes to the existing grades to be approved by the Director of Operations and the Director of Community and Development Services.
- 15.6. Unless otherwise approved or required by the Director of Community and Development Services, the Owner agrees not to undertake any site alteration of the said lands until such time as a building permit is issued for the construction of the buildings contemplated herein on the lands.

## **16. GENERAL**

- 16.1. The **Owner** shall complete to the satisfaction of the Director of Operations of the Town of Niagara-on-the-Lake and Canada Post:
  - a) Include on all offers of purchase and sale, a statement that advises the prospective purchaser:
    - i) that the home/business mail delivery will be from a designated Centralized Mail Box.
    - ii) that the Owner be responsible for officially notifying the purchasers of the exact Centralized Mail Box locations prior to the closing of any home sales.
  - b) The **Owner** further agrees to:

- i) work with Canada Post to determine and provide temporary suitable Centralized Mail Box locations which may be utilized by Canada Post until the curbs, boulevards and sidewalks are in place in the remainder of the Site Plan.
  - ii) install a concrete pad in accordance with the requirements of and in locations to be approved by Canada Post to facilitate the placement of Community Mail Boxes.
  - iii) identify the pads above on the engineering servicing drawings. Said pads are to be poured at the time of the sidewalk and/or curb installation within each phase of the Site Plan.
  - iv) determine the location of all centralized mail receiving facilities in co-operation with Canada Post and to indicate the location of the centralized mail facilities on appropriate maps, information boards and plans. Maps are also to be prominently displayed in the sales office(s) showing specific Centralized Mail Facility locations.
- 16.2. That the Owner dedicate 3.05 metre road widening to the Regional Municipality of Niagara along the frontage of Regional Road 81 (York Road), prior to the issuance of a building permit, to the satisfaction of Region of Niagara.
- 16.3. That the Owner dedicate 2.0 metre road widening to the Regional Municipality of Niagara along the frontage of Regional Road 81 (York Road), prior to the issuance of a building permit, to the satisfaction of Region of Niagara.
- 16.4. That prior to any construction taking place within the Regional Road Allowance including the alteration of the existing access points the Owner shall obtain a Construction Encroachment Permit and Regional Entrance Permit.
- 16.5. That the Owner shall not be permitted additional access to the subject property from Regional Road 81 or Regional Road 100 road allowances except that which was approved on Site Plan (SP1) prepared by ACK Architects (dated October 25, 2018) or subsequently approved versions by the Region of Niagara.
- 16.6. Prior to any construction taking place, the Owner shall prepare a Conservation Plan in accordance with guidelines established within InfoSheet #5 of the Ontario Heritage Toolkit, the satisfaction of the Director of Community and Development Services, for the purposes of:
  - minimizing the potential for vibration or collision damage during demolition of 242 Four Mile Creek Road and construction of Building "C";
  - identifying measures to be taken to ensure that the structural integrity and condition of 238 Four Mile Creek Road is protected



during demolition of 242 Four Mile Creek Road and Construction of Building "C"; and

- guiding future rehabilitation and alterations of the brick store at 246 Four Mile Creek.

- 16.7. Should deeply buried archaeological remains/resources be found on the property during construction activities, all activities impacting archaeological resources must cease immediately, notify the Archaeology Programs Unit of the Ontario Ministry of Tourism, Culture and Sport (416-212-8886) and a licensed archaeologist is required to carry out an archaeological assessment in accordance with the Ontario Heritage Act and the Standards and Guidelines for Consultant Archaeologists.
- 16.8. In the event that human remains are encountered during construction, all activities must cease immediately and the local police as well as the Cemeteries Regulation Unit of the Ministry of Government and Consumer Services in Toronto (416-326-8800) must be contacted. In situations where human remains are associated with archaeological resources, MTCS should also be notified to ensure that the site is not subject to unlicensed alterations which would be a contravention of the *Ontario Heritage Act*."
- 16.9. The following clauses be included inserted into all offers and agreements of Purchase and Sale or Lease for each of the affected dwelling units:
  - a. "Purchasers/tenants are advised that sound levels from increasing road traffic on Four Mile Creek Road (Regional Road 100) and York Road (Regional Road 81) may be audible at times within the dwelling and in outdoor areas."
  - b. "Owners/Purchasers/Tenants of townhouse units 1-11 are advised that in order to accommodate Regional Waste Collection Service they will be required to bring their waste/recycling containers to the curbside of Four Mile Creek Road for collection."
  - c. "Owners/Purchasers/Tenants of the mixed-use building, identified as Building A, are advised that in order to accommodate Regional Waste Collection Service they will be required to bring their waste/recycling containers to the curbside of York Road for collection."
- 16.10. The Owner agrees that during the construction of development, the site will be kept in a reasonably tidy condition so that the raising of dirt and dust is kept to a minimum and further that all roads adjacent to and in the vicinity of the development are kept clean of mud and debris. The Owner shall keep all roads clear of obstruction and storage of construction materials.

- 16.11. If required under the Ontario Building Code, the Owner shall provide land surveys by an Ontario Land Surveyor, and ensure that all construction shall be carried out under the direction of a licensed architect or engineer. Evidence of this direction and control must be submitted to the Chief Building Official, prior to the issuance of a building permit.
- 16.12. The Owner shall not call into question directly or indirectly in any proceedings whatsoever in law or in equity or before any administrative tribunal the right of the Town to enter into this agreement and to enforce each and every term, covenant and condition herein contained, and this agreement may be pleaded as an estoppel against the Owner in any such proceedings. Each of the terms of this agreement is independent of the other and in the event any term of this agreement is held to be invalid or unenforceable for any reason, then such invalidity or unenforceability shall affect that term only and the remainder of the agreement shall remain in full force and effect.
- 16.13. In the event of failure of the Owner to carry out any of the provisions of this agreement, then the municipality, its servants, or agents shall, on fifteen (15) days' notice in writing of its intention so to do and forthwith in cases or emergency, have the right to enter on to the said lands and, at the expense of the Owner, do any work required hereby and further, shall have the right to recover the costs thereof by action or in like manner as municipal taxes, pursuant to the provisions of the Municipal Act, R.S.O. 2001.
- 16.14. The Owner agrees that if construction has not been seriously commenced within six (6) months of the date of this agreement or where the construction is substantially suspended or discontinued for a period of more than one year, the Chief Building Official may revoke the building permit issued heretofore and not issue a new permit until such time as a new agreement has been entered into. This clause is inserted to protect the municipality from any change in its standards of service or any change in the requirements for municipal services relating to the capacity of any service, to service this or any other project.
- 16.15. The Owner agrees that all work authorized by this agreement shall be completed within two (2) years of the date of the execution of this agreement. If all work has not been completed within two (2) years from the date of execution of this agreement, the Town reserves the right to deem this agreement null and void.
- 16.16. The Owner shall indemnify and save harmless the Town from and against all actions, causes of action, interest, claims, demands, costs, charges, damages, expenses and loss which the Town may at any time

bear, incur, be liable for, sustain or be put unto for any reason, or on account of, or by reason of, or in the consequence of, or related to the discharge of stormwater from the lands.

- 16.17. That the Owner shall agree in words satisfactory to Bell Canada, to grant to Bell Canada any easements that may be required for telecommunications services. Easements may be required subject to final servicing decisions. In the event of any conflict with existing Bell Canada facilities or easements, the Owner shall be responsible for the relocation of such facilities or easements.
- 16.18. The Owner is advised that prior to commencing any work within the site, the Owner must confirm that sufficient wire line communication/telecommunication infrastructure is available within the development to provide communication/telecommunication services to the development. In the event that such infrastructure is not available, the Owner may be required to pay for the connection to and/or extension to an existing communication/telecommunication infrastructure.
- 16.19. In case the Owner wishes not to pay for the connection to and/or extension to an existing communication/telecommunication infrastructure, the Owner shall be required to demonstrate to the Town that sufficient alternative communication/telecommunication facilities are available within the proposed site to enable, at a minimum, the efficient delivery of communication/telecommunication services for emergency management services (i.e. 911 Emergency service).
- 16.20. The Owner shall obtain a certificate from an Ontario Land Surveyor stating that all existing and new evidence is in place at the completion of the said development.
- 16.21. The Owner shall contact Enbridge Gas Distribution for service and meter installation details and to ensure all gas piping is installed prior to the commencement of site landscaping (including, but not limited to: tree planting, Silva cells, and/or soil trenches) and/or asphalt paving.
- 16.22. If the gas main needs to be relocated as a result of changes in the alignment or grade of the future road allowances or for temporary gas pipe installations pertaining to phase construction, all costs are the responsibility of the Owner.
- 16.23. In the event that easement(s) are required to service this development, the Owner will provide the easement(s) to Enbridge Gas Distribution at no cost.
- 16.24. The Owner covenants and agrees that any outstanding taxes will be paid prior to the registration of the agreement.
- 16.25. Prior to the release of any securities, the Owner agrees to pay any arrears of taxes outstanding against the lands.

- 16.26. The Owner agrees that there shall be no open burning of waste or construction materials unless specifically approved by the Fire Chief.
- 16.27. The Owner shall enter into separate agreements as may be required for the provision of utilities to service the development, including but not limited to gas, telephone and cable utilities.
- 16.28. The Owner shall be subject to all by-laws of the Town and shall abide by them.
- 16.29. This agreement shall enure to the benefit of and be binding upon the parties hereto and their heirs, executors, administrators, successors in title, mortgagees and assigns and all covenants, agreements, conditions and understandings herein contained on the part of the Owner shall run with the lands in perpetuity.
- 16.30. The Owner herein agrees and consents to the registration of this agreement, at its own expense, against the title of the lands.

Any notice given hereunder shall be sufficiently given and addressed to:

1913954 ONTARIO INC  
144 Dunkirk Road  
St. Catharines, Ontario  
L2P 3H6

IN WITNESS WHEREOF the parties hereto have hereunto affixed their corporate seals under the hands of their officers duly authorized in that behalf.

SIGNED, SEALED AND DELIVERED  
in the presence of:

**THE CORPORATION OF THE TOWN  
OF NIAGARA-ON-THE-LAKE:**

Per:

\_\_\_\_\_  
LORD MAYOR PAT DARTE

\_\_\_\_\_  
TOWN CLERK PETER TODD

**1913954 ONTARIO INC.:**

\_\_\_\_\_  
Signature  
Name: \_\_\_\_\_(print)  
Position: \_\_\_\_\_(print)  
I have the authority to bind the  
Corporation

**SLEEK DEVELOPMENTS  
(MORTGAGEE)**

\_\_\_\_\_  
Signature  
Name: \_\_\_\_\_(print)  
Position: \_\_\_\_\_(print)  
I have the authority to bind the  
Corporation

**SCHEDULE A**  
**TO**  
**SITE PLAN AGREEMENT**

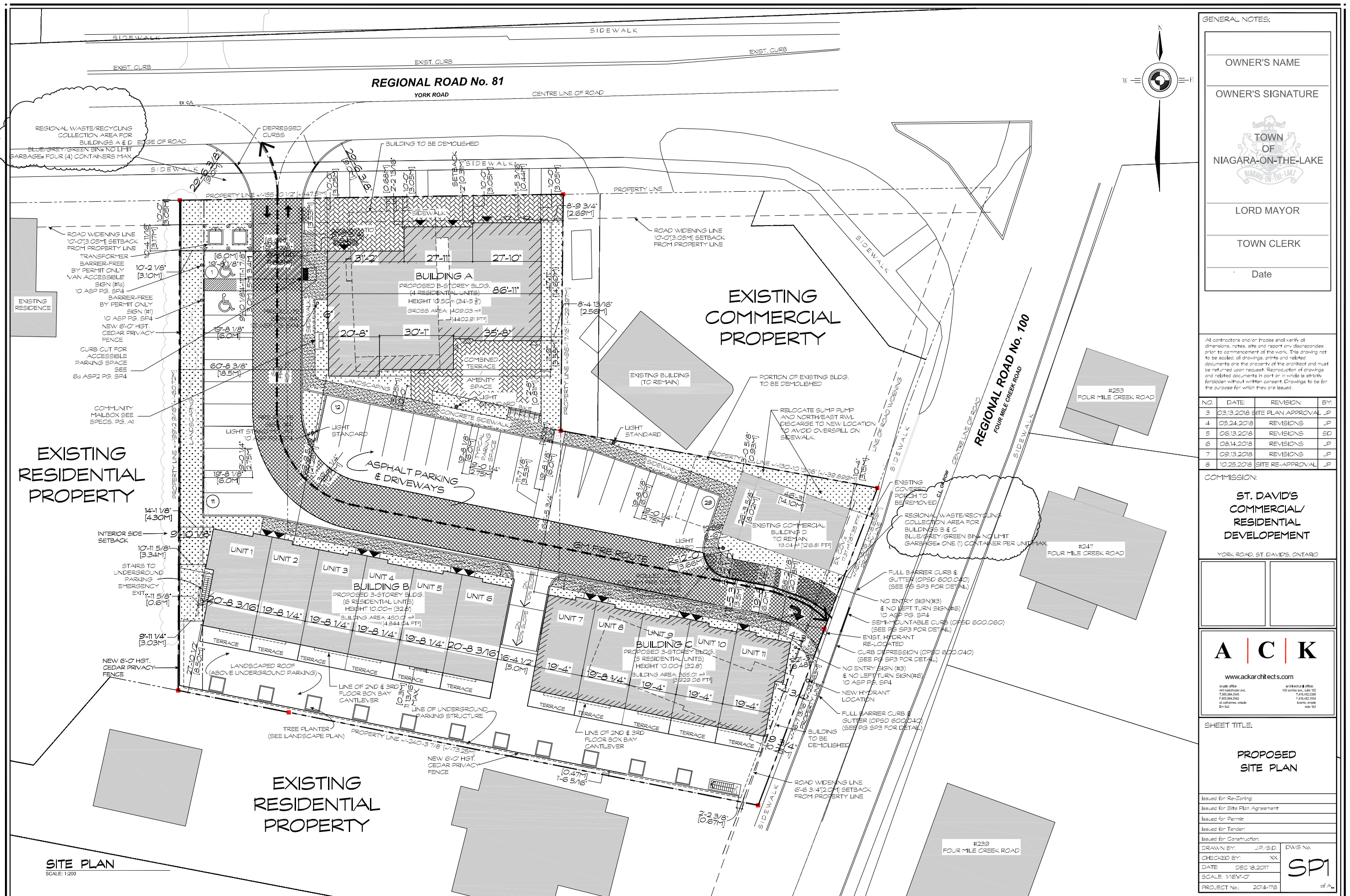
Legal Description: Part of Township Lot 90, Niagara

PIN #: XXXX

**SCHEDULE E**  
**SECURITY DEPOSITS AND REQUIRED PAYMENTS**

Item	Reference	Subject	Est. Cost	L of C	Cash
Prior to Construction					
1.	12.1	Securities for Off-Site and On-Site Services - 20% or \$10,000.00 - Landscaping	\$456,575.94 \$148,435.00	\$91,315.19 <sup>1</sup> \$29,687.00 <sup>1</sup>	
2.	12.4	Inspection Deposit			\$11,050.00 <sup>12</sup>
3.	12.5	Road Cleaning Deposit			\$1,000 <sup>1</sup>
4.	12.6	Damage Deposit			\$1,000 <sup>1</sup>
5.	14.1	Parkland Dedication	TBD		TBD

- NOTES:**
- 1. Amounts noted are deposits, and any unused portion will be returned to the Owner upon completion of the works.
  - 2. Inspection costs based on estimate of 17 working days.





GENERAL NOTES:

OWNER'S NAME

OWNER'S SIGNATURE



LORD MAYOR

TOWN CLERK

Date

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled. All drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.

NO.	DATE	REVISION	BY:
3	03.13.2018	SITE PLAN APPROVAL	JP
4	05.24.2018	REVISIONS	JP
5	06.13.2018	REVISIONS	SD
6	08.14.2018	REVISIONS	JP
7	09.13.2018	REVISIONS	JP
8	10.25.2018	SITE RE-APPROVAL	JP

COMMISSION:

ST. DAVID'S  
COMMERCIAL/  
RESIDENTIAL  
DEVELOPEMENT

YORK ROAD, ST. DAVID'S, ONTARIO

A | C | K

www.ackarchitects.com

studio office:  
443 eastchester ave.  
T. 905.884.4560  
F. 905.884.2562  
ackarchitects.com  
toronto, ontario  
m4h 1b3

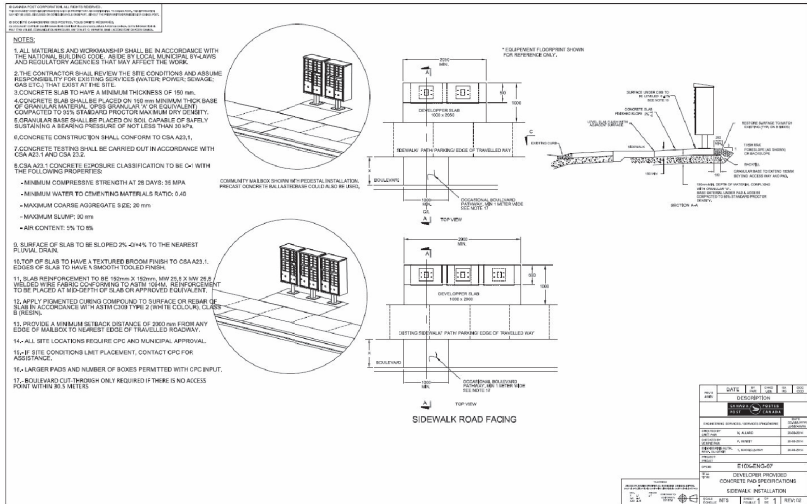
architectural office:  
100 sunbrite ave., suite 102  
T. 416.462.2289  
F. 416.462.1994  
toronto, ontario  
m4a 1b3

SHEET TITLE:

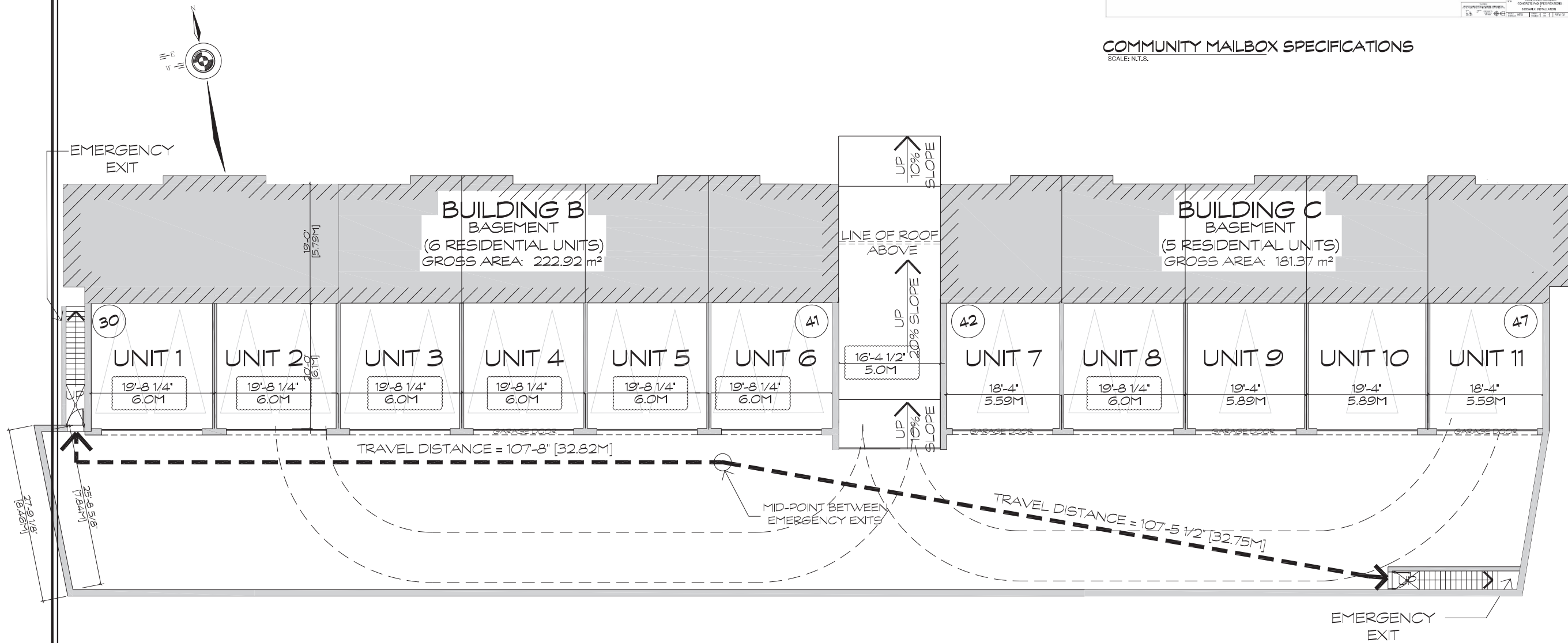
PROPOSED  
BASEMENT PLAN  
BUILDING B&C

Issued for Re-Zoning:  
Issued for Site Plan Agreement:  
Issued for Permit:  
Issued for Tender:  
Issued for Construction:  
DRAWN BY: J.P./S.D. DWG No.  
CHECKED BY: XX  
DATE: DEC 18, 2017  
SCALE: AS NOTED  
PROJECT No.: 2014-176

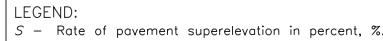
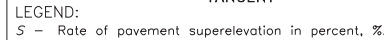
SP2  
of A.



COMMUNITY MAILBOX SPECIFICATIONS  
SCALE: N.T.S.



BASEMENT PLAN  
SCALE: 1:100



All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.

COMMISSION:

YORK ROAD, ST. DAVID'S, ONTARIO

## PROPOSED BUILDING STATISTICS

BUILDINGS

	AREA (ft²)	AREA (m²)	%
TOTAL SITE AREA (EXCLUDING ROAD WIDENING AREA)	47,845.34	4,444.83	100 %
A BUILDING COVERAGE	4,402.91	409.03	9.20 %
B BUILDING COVERAGE	5,005.50	465.01	10.46%
C BUILDING COVERAGE	4,066.14	377.74	8.50 %
D EXISTING BUILDING COVERAGE	1,216.81	113.04	2.54 %
TOTAL BUILDING COVERAGE	14,217.12	1,320.77	29.72 %
PARKING/PAVING COVERAGE	14,817.40	1,376.54	30.97%
PROPOSED LANDSCAPE COVERAGE (20% min)	18,929.89	1758.59	39.56 %
PROPOSED AMENITY SPACE (35 SQ.M./UNIT min)	15206.87	1412.72	31.78 %

SHEET TITLE:

Issued for Re-Zoning:
Issued for Site Plan Agreement:

Issued for Permit:
Issued for Tender:

Issued for Construction

DRAWN BY:

CHECKED BY:

DATE: DEC 18, 1964

SCALE: AS NOTED

PROJECT No.: 2

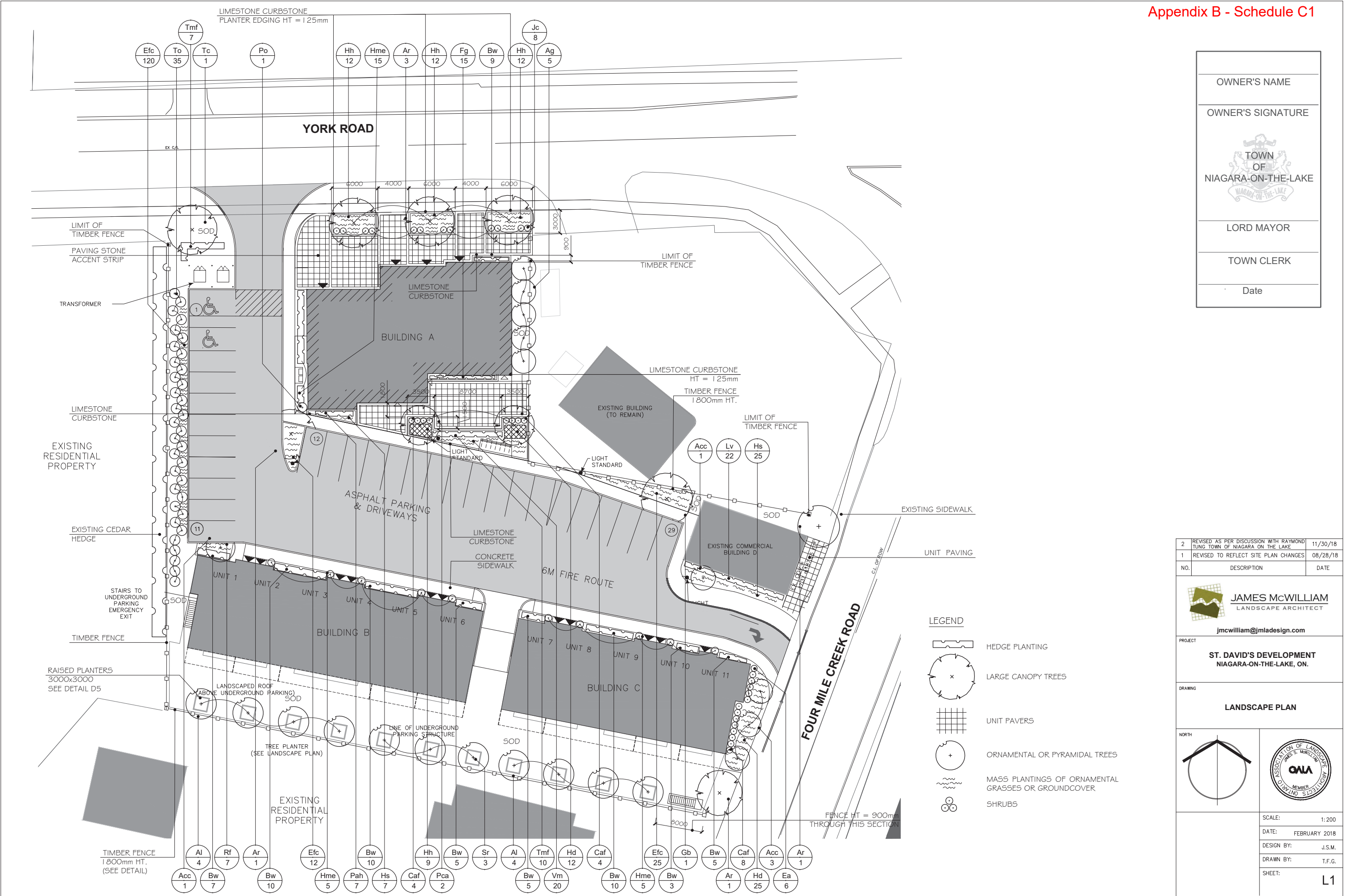
DWG No.

5

—

[illegible]

---





LANDSCAPE CONSTRUCTION NOTES:

General Notes:

- Contractor is responsible for locating all underground services prior to any excavation,
- General layout of planting beds, paths, amenity areas, unit pavers, to be staked and confirmed by landscape architect prior to installation,
- Plant material to be approved at source by landscape architect, prior to shipment to the site,
- Plant material to have a one year warranty (supply and installation), to commence, once final installation approval is provided by landscape architect.

Sod:

- Sodded areas to be prepared with approved topsoil to a depth of 100mm

Shrub Bed and Tree Pit Preparation:

- Shrub beds to be prepared with imported 'triple-mix' topsoil, to the depth of 300 mm, minimum and to be flush with surrounding grades or top of curb
- Shrub beds to be mulched with shredded pine bark mulch, installed to a minimum depth of 75 mm.
- Tree pits are to be dug to a depth below any existing compacted granular or unnatural fill material, to allow for adequate drainage conditions,

Unit Pavers:

- General Layout: Unilock, 'IL Campo', colour = 'Coffee Creek', size = random bundle,
- Soldier Course and Accent Strips: Unilock 'Series 3000', colour = 'Black Granite' size = 150x300x70
- Install Unilock paver edging where pavers do not butt walls,
- Colours to be confirmed by project administrator prior to shipment to side.

Limestone Curbstone:

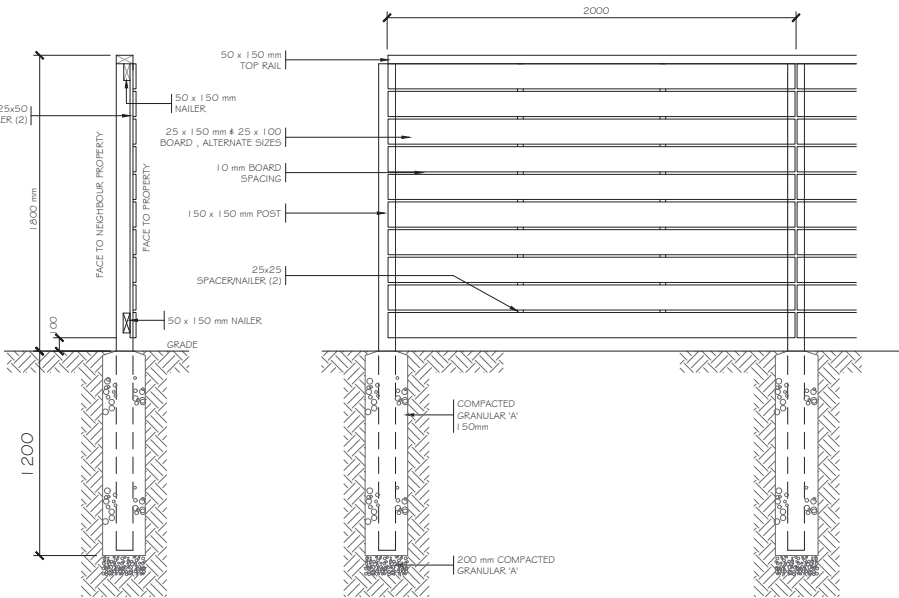
- Limestone curbstone to be, height = 250mm, width = 150mm, length = varies
- Exposed height to be 125mm
- Ends to be saw-cut and corners to be 45 degree angles
- Limestone curbstone to be set on 150mm compacted granular A

Irrigation:

- A Toro 'pop-up' irrigation system is to be installed to provide irrigation coverage to all soft landscaped areas of the site,
- The irrigation system is to include all distribution piping, appropriate zoning, spray heads, and control systems,
- Contractor to provide an irrigation drawing showing all piping, spray heads, controls etc. for approval prior to installation.

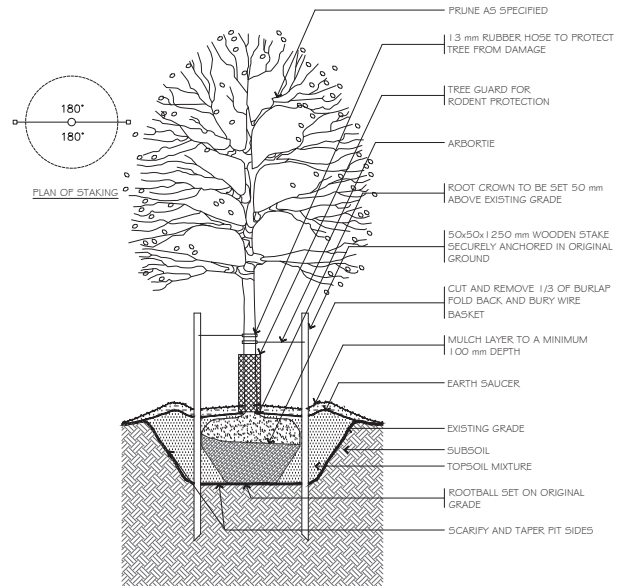
Timber Fences:

- Fences to be constructed of cedar timber, except for posts (to be pressure treated lumber),



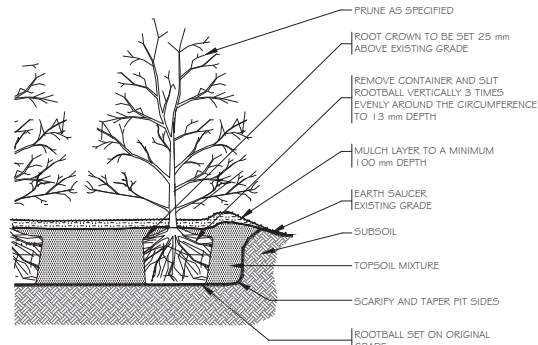
D1 TIMBER (CEDAR) PERIMETER FENCE DETAIL  
(TIMBER POSTS TO BE PRESSURE TREATED)

SCALE: NONE



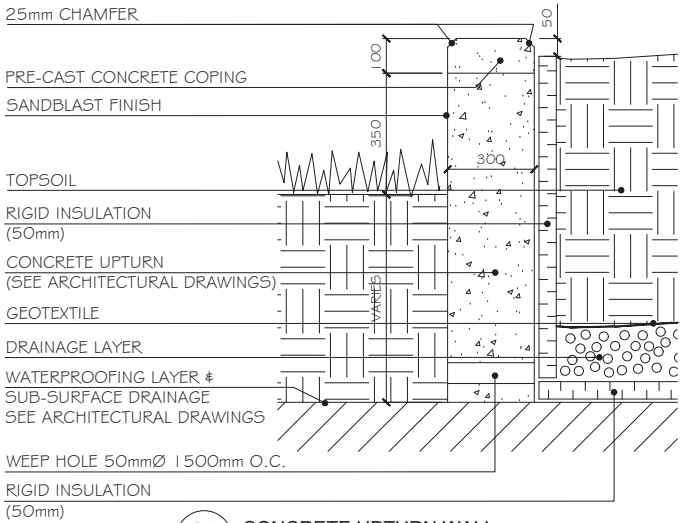
D2 TYPICAL DECIDUOUS TREE PLANTING DETAIL  
TREES OVER 45mm CALIPER

SCALE: NONE



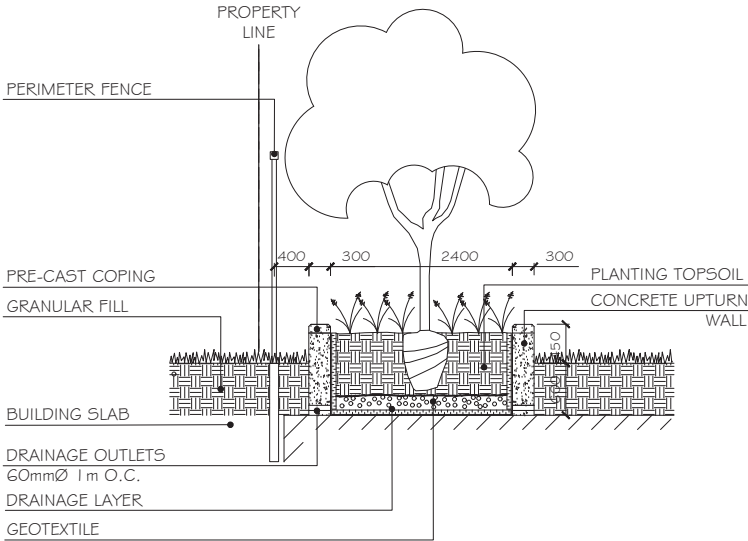
D3 TYPICAL SHRUB PLANTING DETAIL  
ALL SPECIES / SIZES

SCALE: NONE



D4 CONCRETE UPTURN WALL  
TO FORM PLANTER DETAIL

SCALE: 1:10






D5 RAISED PLANTER  
ON ROOF DECK DETAIL

SCALE: 1:40

St David Development - PLANT LIST						
W.B.= Wire Basket, B&B = Balled and Burlapped, CT = Container Grown						
Code	BOTANICAL NAME	COMMON NAME	SIZE	#	ROOT CONDITIO	REMARKS
Deciduous Trees						
Ar	Acer rubrum 'Autumn Spire'	Autumn Spire Red Maple	60mm cal.	6	W.B.	Full & equal form
Acc	Amelanchier canadensis	Serviceberry (multi-stem)	200cm ht.	5	W.B.	Multi-stem
Ag	Amelanchier x grandifolia 'Cumulus'	Cumulus Serviceberry	60mm cal.	5	W.B.	Full & equal form
Al	Amelanchier laevis	Serviceberry	40mm cal.	8	W.B.	Full & equal form
Gb	Ginkgo biloba 'Magyar'	Maidenhair Tree	60mm cal.	1	W.B.	Full & equal form
Pca	Pyrus calleryana chanticleer	Chanticleer Pear	60mm cal.	2	W.B.	Full & equal form
Sr	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	40mm cal.	3	W.B.	Full & equal form
Tc	Tilia cordata	Littleleaf Linden	60mm cal.	1	W.B.	Full & equal form
Deciduous Shrubs						
Ea	Euonymus alatus 'compactus'	Dwarf Winged Burningbush	60cm ht.	6	CT	Well Branched
Hme	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	3 gal. pot	25	CT	Well Branched
Lv	Ligustrum x vicaryi	Golden Privet	50cm ht.	22	3 gal pot	Well Branched
Po	Physocarpus opulifolius 'Monlo'	Diablo Ninebark	60cm ht.	1	CT	Well Branched
Coniferous Shrubs						
Jc	Juniperus chinensis 'Shimpaku'	Chinese Juniper	50cm ht.	8	3 gal pot	Full & equal form
To	Thuja occidentalis	Eastern White Cedar	110cm ht.	35	5 gal pot	Branched to the Ground
Tmf	Taxus x media 'Fairview'	Fairview Yew	60cm ht.	17	3 gal pot	Branched to the Ground
Ornamental Grasses						
Caf	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal pot	16	CT	Well Branched
Fg	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	1 gal pot	15	CT	Well Branched
Pah	Pinnisetum alopecuroides 'Hamelin	Dwarf Fountain Grass	1 gal pot	7	CT	Well Branched
Broadleaf Evergreen Shrubs						
Bw	Buxus mic. Var. insularis 'Winter Gem'	Winter Gem Korean Boxwood	2 gal pot	76	CT	Well Branched
Efc	Euonymus fortunei 'Coloratus'	Colorata Euonymus	10cm pot	157	CT	Well Branched
Vm	Vinca minor	Periwinkle	10cm pot	20	CT	Well Branched
Perennials						
Hs	Hemerocallis 'Stella D'Oro'	Daylily 'Stella D'Oro' (yellow)	1 gal pot	32	CT	Well Branched
Hh	Hemerocallis 'Happy Returns'	Daylily 'Happy Returns' (light yellow)	1 gal pot	64	CT	Well Branched
Rf	Rudbeckia fulgida goldsturm	Rudbeckia	1 gal pot	7	CT	Well Branched
Hd	Hosta 'Blue Moon'	Plantain Lily 'Blue Moon'	1 gal pot	27	CT	Well Branched

Appendix B - Schedule C2








2	REVISED AS PER DISCUSSION WITH RAYMOND TUNG TOWN OF NIAGARA ON THE LAKE	11/30/18
1	REVISED TO REFLECT SITE PLAN CHANGES	08/28/18
NO.	DESCRIPTION	DATE
<div><div>OWNER'S NAME</div><div>OWNER'S SIGNATURE</div><div></div><div>LORD MAYOR</div><div>TOWN CLERK</div><div>Date</div></div>		
<div><div></div><div>JAMES MCWILLIAM LANDSCAPE ARCHITECT</div><div>jmcwilliam@jmladesign.com</div><div>PROJECT</div><div>ST. DAVID'S DEVELOPMENT NIAGARA-ON-THE-LAKE, ON.</div><div>DRAWING</div><div>LANDSCAPE DETAIL</div><div>NORTH</div><div></div></div>		
SCALE: AS NOTED		
DATE: FEBRUARY 2018		
DESIGN BY: J.S.M.		
DRAWN BY: T.F.G.		
SHEET:		L2

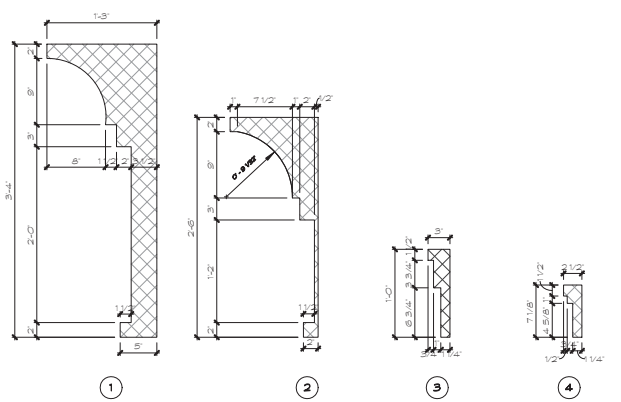


BLDG A - NORTH (FRONT YORK ROAD) ELEVATION

1/4" = 1'-0"

MATERIALS LEGEND

 <b>BRK</b> BRICK VENEER - 3 1/2" STONE VENEER (VENEER COLOUR & PATTERN /FINISH TO BE DETERMINED)	 <b>HDB</b> HARDBOARD EXTERIOR WALL FINISH COLOUR: TBD	 <b>MTL</b> PREFINISHED METAL SIDING TOP, BASE & CORNER TRIM TO MATCH COLOUR & PATTERN: TBD	 <b>WDT</b> WINDOW & DOOR TRIM WINDOW TRIM- VARYING SIZES COLOUR: TBD
 <b>GL</b> STOREFRONT GLAZING - CLEAR ANODIZED ALUMINUM FRAMES - CLEAR INSULATED VISION GLASS - LOW-E GLAZING - TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS - COLOUR: TBD **FOR MORE INFORMATION SEE WINDOW SCHEDULE**	 <b>EIFS</b> EXTERIOR INSULATION FINISH SYSTEM (EIFS) STUCCO WALL FINISH - COLOUR & TEXTURE: TBD	 <b>FL</b> METAL FLASHING 24 GAUGE COLOUR: TBD	



FRIEZE DETAILS

1" = 1'-0"

GENERAL NOTES

OWNER'S NAME

OWNER'S SIGNATURE

TOWN OF NIAGARA-ON-THE-LAKE

LORD MAYOR

TOWN CLERK

Date

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.

NO.	DATE:	REVISION:	BY:
1	03.13.2018	SITE PLAN APPROVAL	J.P.
2	08.31.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

ST. DAVID'S DEVELOPMENT

1397 YORK RD & 242, 246 FOUR MILE CREEK RD,  
NIAGARA-ON-THE-LAKE

N

**A | C | K**  
architects  
www.ackarchitects.com

education office:  
4455 SHEPPARD AVE. E.  
SUITE 100  
SCARBOROUGH, ONTARIO  
M1S 1T2  
TEL: (416) 291-1111  
FAX: (416) 291-1112  
WWW.ACKARCHITECTS.COM

architectural office:  
1000 SHEPPARD AVE. E.  
SUITE 100  
SCARBOROUGH, ONTARIO  
M1S 1T2  
TEL: (416) 291-1111  
FAX: (416) 291-1112  
WWW.ACKARCHITECTS.COM

SHEET TITLE:

NORTH (FRONT) ELEVATION

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY: SD/KMK/J.P. DWG. No. A8

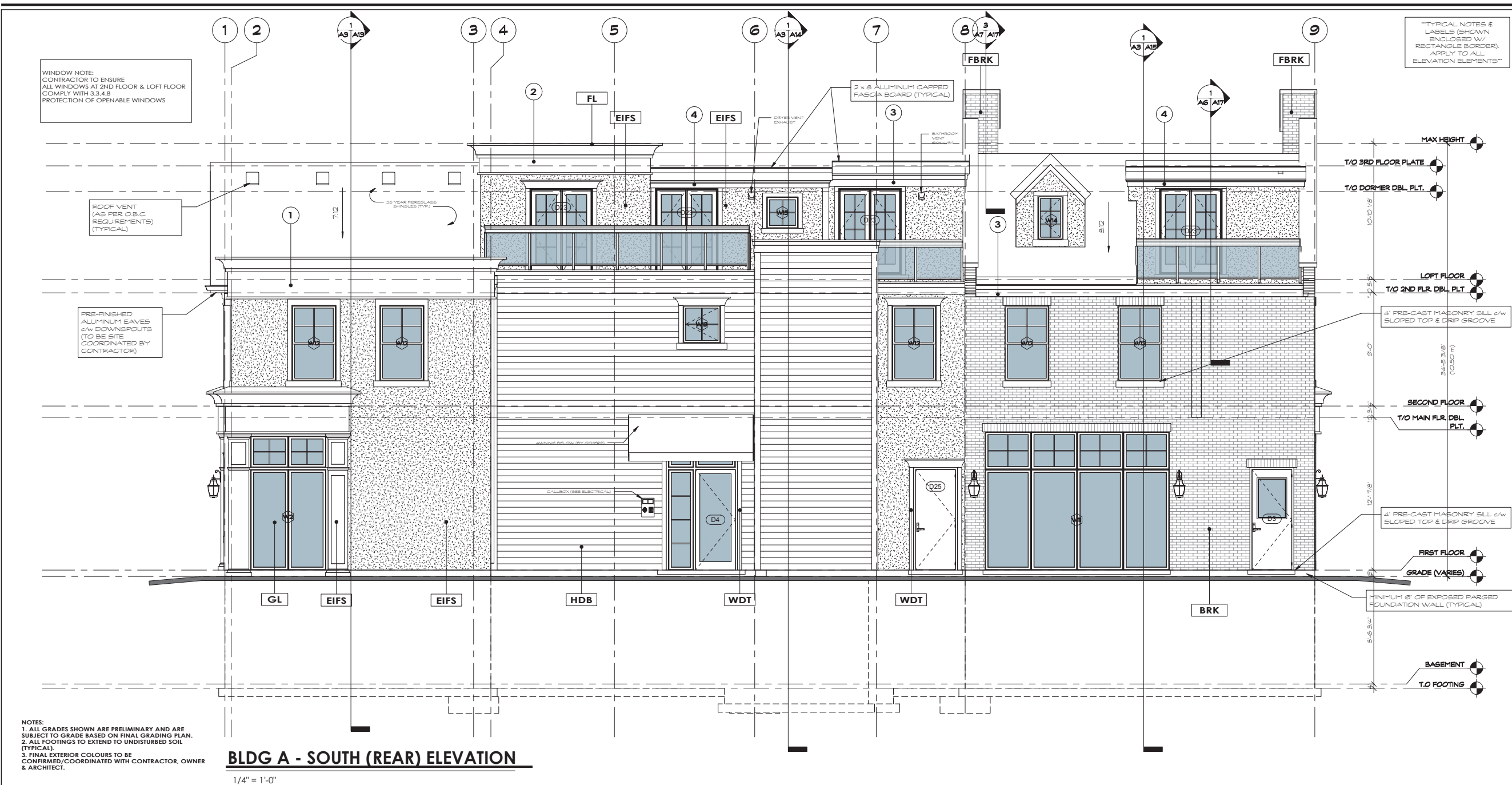
CHECKED BY: MDA/JMR

DATE: SEPT 20 2016

SCALE: AS SHOWN

PROJECT No.: 2014-176












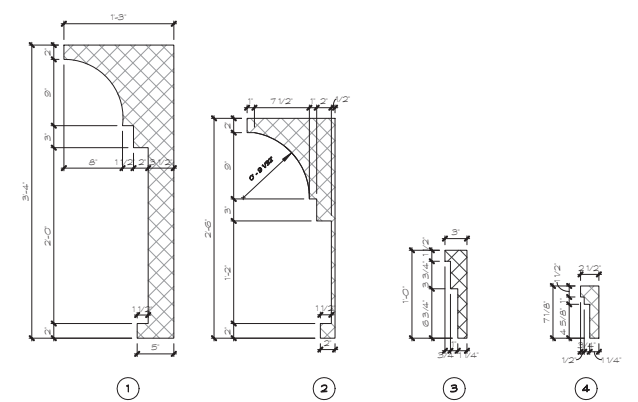
NOTES:  
1. ALL GRADES SHOWN ARE PRELIMINARY AND ARE SUBJECT TO GRADE BASED ON FINAL GRADING PLAN.  
2. ALL FOOTINGS TO EXTEND TO UNDISTURBED SOIL (TYPICAL).  
3. FINAL EXTERIOR COLOURS TO BE CONFIRMED/COORDINATED WITH CONTRACTOR, OWNER & ARCHITECT.

**BLDG A - SOUTH (REAR) ELEVATION**

1/4" = 1'-0"

**MATERIALS LEGEND**

 <b>BRK</b> BRICK VENEER - 3 1/2" STONE VENEER (VENEER COLOUR & PATTERN /FINISH TO BE DETERMINED)	 <b>HDB</b> HARDIBOARD EXTERIOR WALL FINISH COLOUR: TBD	 <b>MTL</b> PREFINISHED METAL SIDING TOP, BASE & CORNER TRIM TO MATCH COLOUR & PATTERN: TBD	 <b>WDT</b> WINDOW & DOOR TRIM WINDOW TRIM- VARYING SIZES COLOUR: TBD
 <b>GL</b> STOREFRONT GLAZING - CLEAR ANODIZED ALUMINUM FRAMES - CLEAR INSULATED VISION GLASS - LOW-E GLAZING - TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS - COLOUR: TBD **FOR MORE INFORMATION SEE WINDOW SCHEDULE**	 <b>EIFS</b> EXTERIOR INSULATION FINISH SYSTEM (EIFS) STUCCO WALL FINISH - COLOUR & TEXTURE: TBD	 <b>FL</b> METAL FLASHING 24 GAUGE COLOUR: TBD	




**FRIEZE DETAILS**

1" = 1'-0"

GENERAL NOTES

OWNER'S NAME

OWNER'S SIGNATURE



TOWN OF  
NIAGARA-ON-THE-LAKE

LORD MAYOR

TOWN CLERK

Date


All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.

NO.	DATE:	REVISION:	BY:
1	03.13.2018	SITE PLAN APPROVAL	J.P.
2	08.31.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

**ST. DAVID'S DEVELOPMENT**

1397 YORK RD & 242, 246 FOUR MILE CREEK RD,  
NIAGARA-ON-THE-LAKE



**A | C | K**  
architects  
www.ackarchitects.com

studio office:  
445 westbourne way  
1 st. st. st. st. st. st.  
1 st. st. st. st. st. st.  
1 st. st. st. st. st. st.  
1 st. st. st. st. st. st.

architectural office:  
1000 huron rd. suite 102  
1 st. st. st. st. st. st.  
1 st. st. st. st. st. st.  
1 st. st. st. st. st. st.

SHEET TITLE:

**SOUTH (REAR) ELEVATION**

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY: SD/KMK/J.P. DWG. No.

CHECKED BY: MDA/JMR

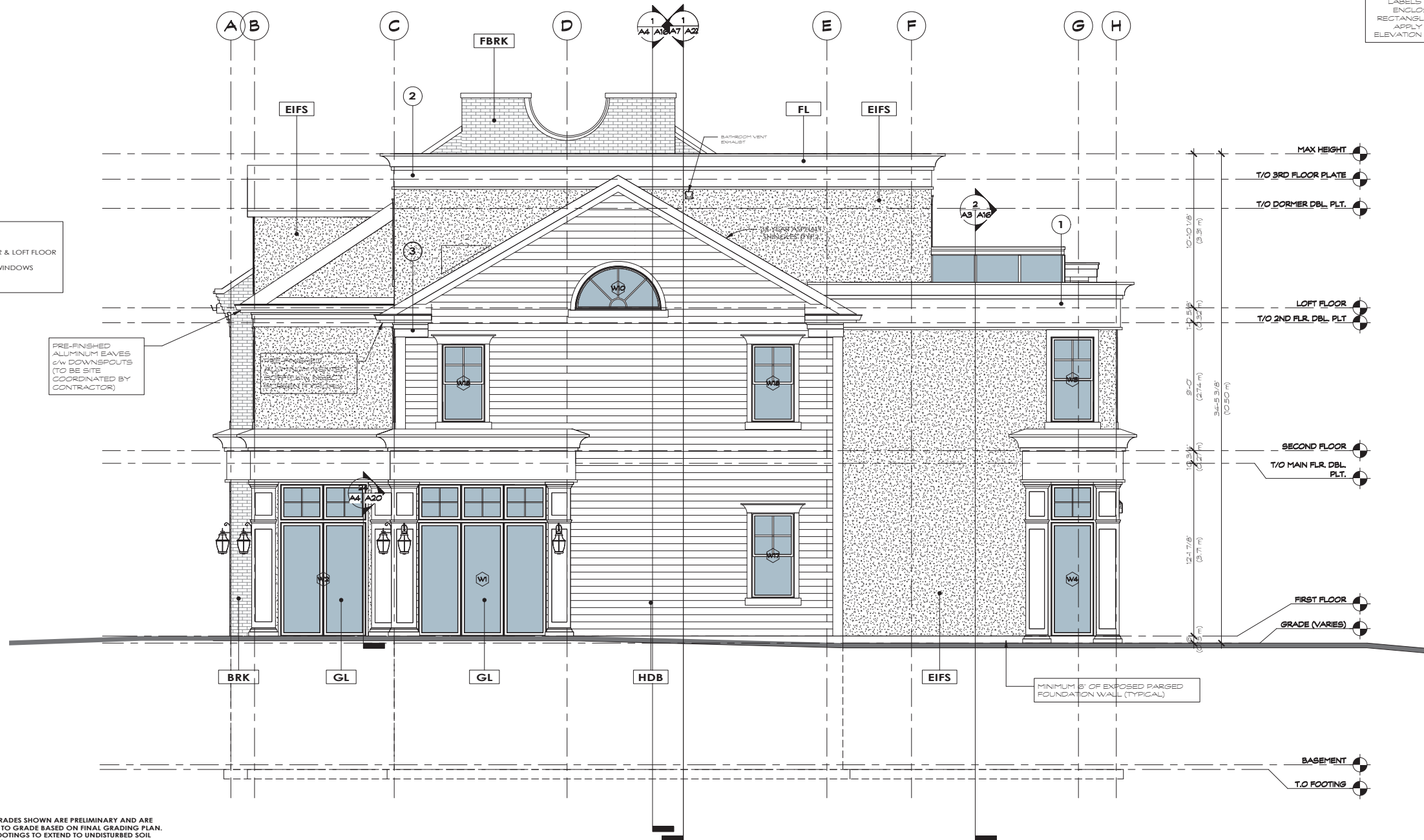
DATE: SEPT 20 2016

SCALE: AS SHOWN

PROJECT No.: 2014-176

**A9**





WINDOW NOTE:  
CONTRACTOR TO ENSURE  
ALL WINDOWS AT 2ND FLOOR & LOFT FLOOR  
COMPLY WITH 3.3.4.8  
PROTECTION OF OPENABLE WINDOWS

PRE-FINISHED  
ALUMINUM EAVES  
C/W DOWNSPOUTS  
(TO BE SITE  
COORDINATED BY  
CONTRACTOR)








PRE-FINISHED  
ALUMINUM EAVES  
C/W DOWNSPOUTS  
(TO BE SITE  
COORDINATED BY  
CONTRACTOR)

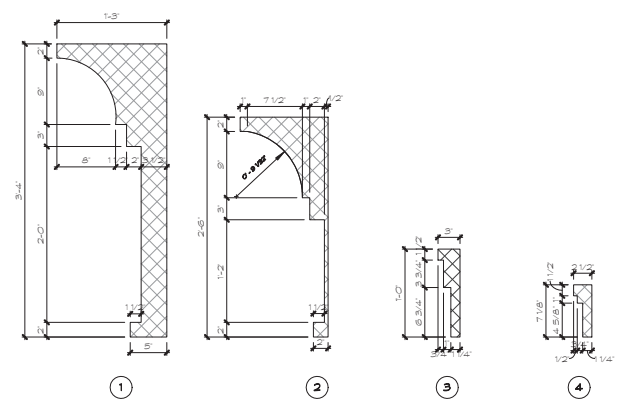
NOTES:  
1. ALL GRADES SHOWN ARE PRELIMINARY AND ARE  
SUBJECT TO GRADE BASED ON FINAL GRADING PLAN.  
2. ALL FOOTINGS TO EXTEND TO UNDISTURBED SOIL  
(TYPICAL).  
3. FINAL EXTERIOR COLOURS TO BE  
CONFIRMED/COORDINATED WITH CONTRACTOR, OWNER  
& ARCHITECT.

### BLDG A - WEST (RIGHT) ELEVATION

1/4" = 1'-0"

#### MATERIALS LEGEND

 <b>BRK</b> BRICK VENEER - 3 1/2" STONE VENEER (VENEER COLOUR & PATTERN /FINISH TO BE DETERMINED)	 <b>HDB</b> HARDBOARD EXTERIOR WALL FINISH COLOUR: TBD	 <b>MTL</b> PREFINISHED METAL SIDING TOP, BASE & CORNER TRIM TO MATCH COLOUR & PATTERN: TBD	 <b>WDT</b> WINDOW & DOOR TRIM WINDOW TRIM- VARYING SIZES COLOUR: TBD
 <b>GL</b> STOREFRONT GLAZING - CLEAR ANODIZED ALUMINUM FRAMES - CLEAR INSULATED VISION GLASS - LOW-E GLAZING - TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS - COLOUR: TBD **FOR MORE INFORMATION SEE WINDOW SCHEDULE**	 <b>EIFS</b> EXTERIOR INSULATION FINISH SYSTEM (EIFS) STUCCO WALL FINISH - COLOUR & TEXTURE: TBD	 <b>FL</b> METAL FLASHING 24 GAUGE COLOUR: TBD	



#### FRIEZE DETAILS

1" = 1'-0"

"TYPICAL NOTES &  
LABELS (SHOWN  
ENCLOSED W/  
RECTANGLE BORDER).  
APPLY TO ALL  
ELEVATION ELEMENTS"

GENERAL NOTES

OWNER'S NAME

OWNER'S SIGNATURE

TOWN OF NIAGARA-ON-THE-LAKE

LORD MAYOR

TOWN CLERK

Date

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are

NO.	DATE:	REVISION:	BY:
1	03.13.2018	SITE PLAN APPROVAL	J.P.
2	08.31.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

ST. DAVID'S DEVELOPMENT

1397 YORK RD & 242, 246 FOUR MILE CREEK RD,  
NIAGARA-ON-THE-LAKE



SHEET TITLE:

WEST (RIGHT) ELEVATION

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY: SD/KMK/J.P. DWG. No.

CHECKED BY: MDA/JMR

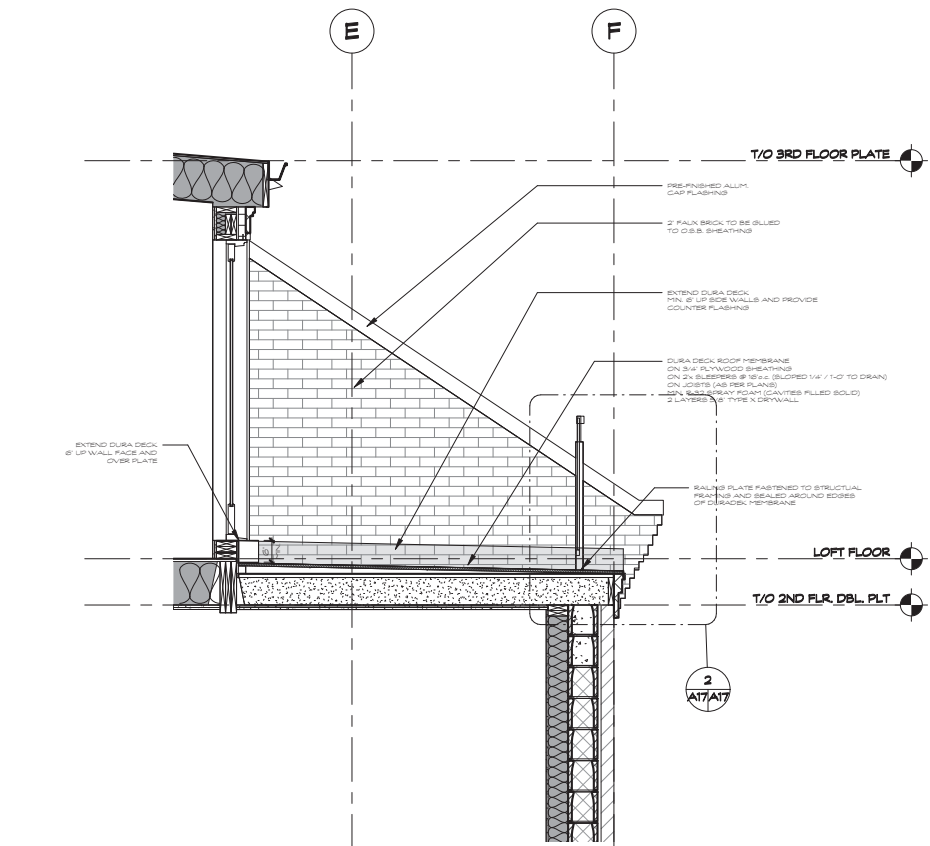
DATE: SEPT 20 2016

SCALE: AS SHOWN

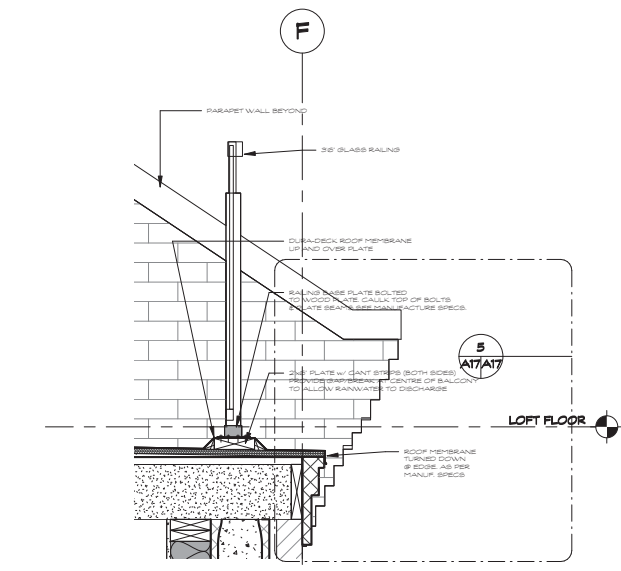
PROJECT No.: 2014-176

A11

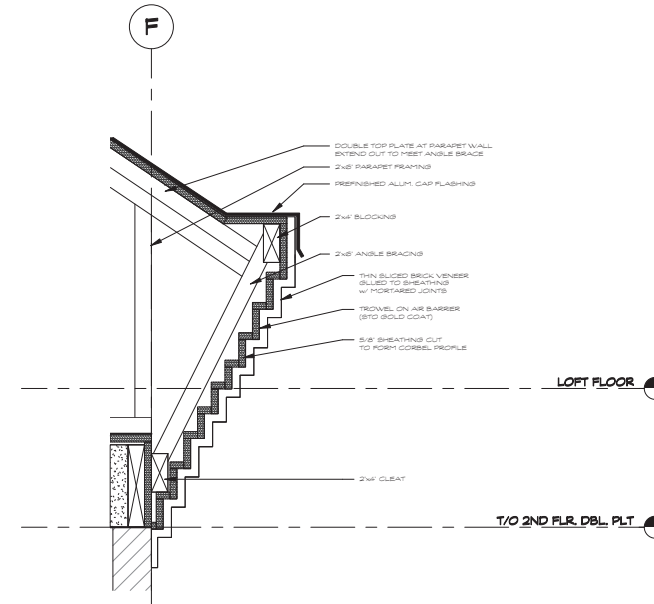




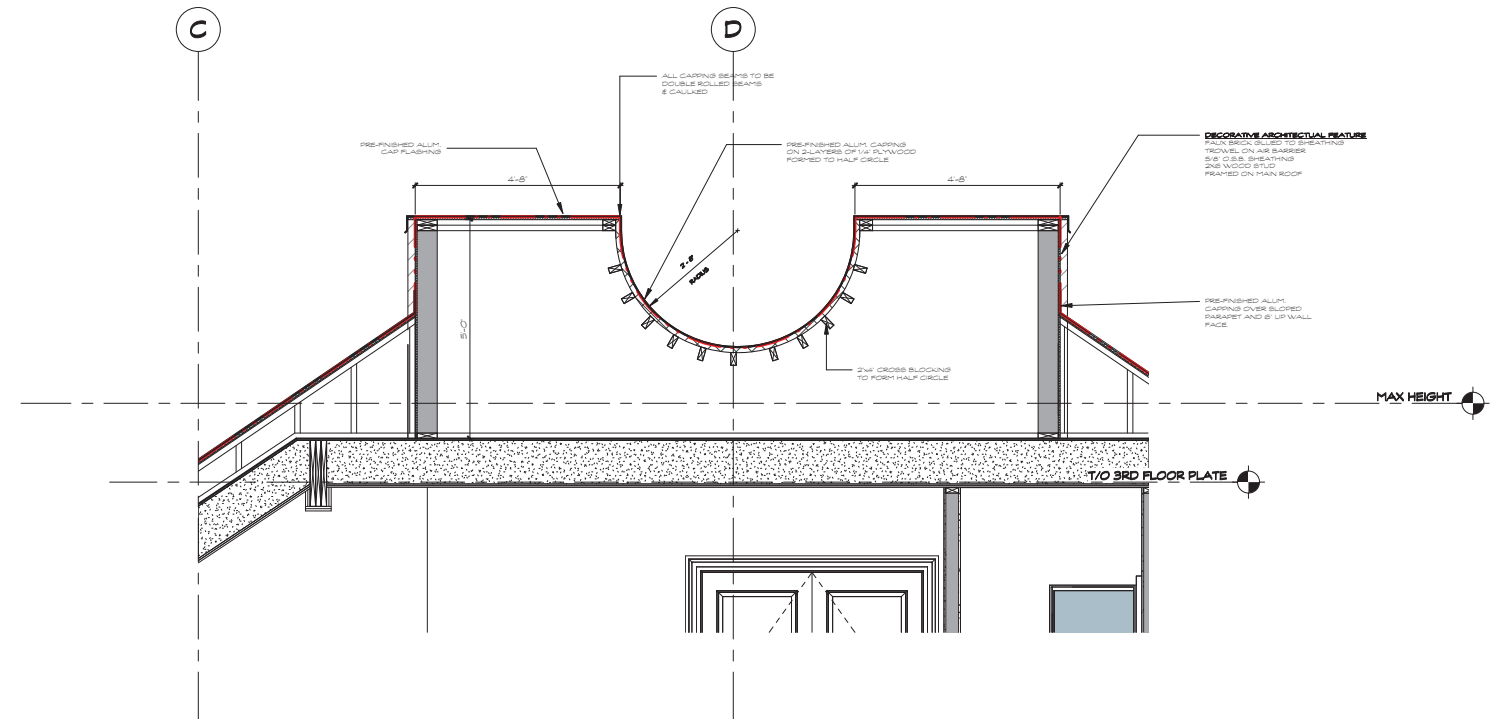
1 BALCONY SECTION  
1/2" = 1'-0"



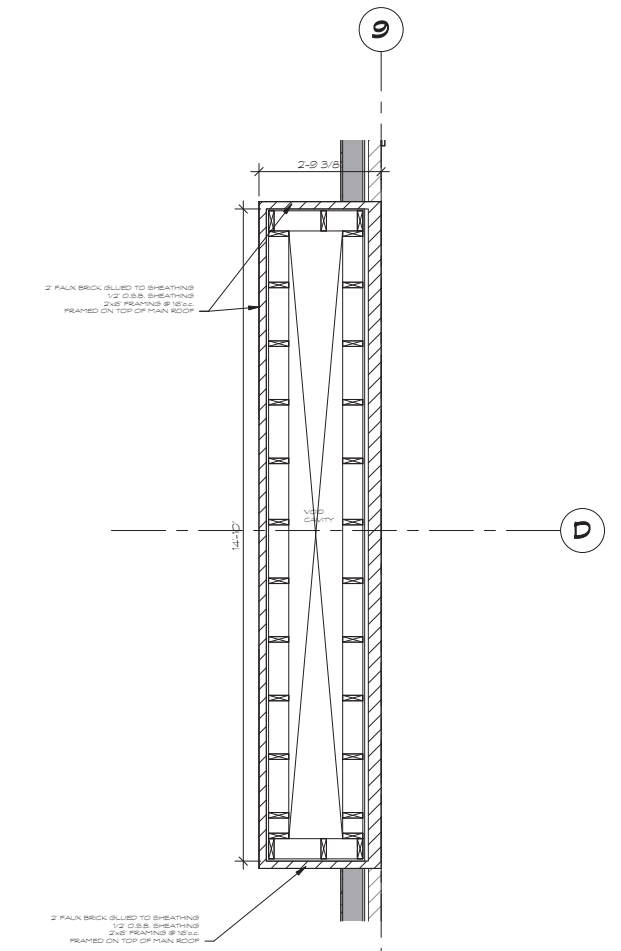
2 RAILING DETAIL  
1" = 1'-0"



CORBEL DETAIL  
1 1/2" = 1'-0"



3 ARCHITECTURAL PARAPET FEATURE  
1/2" = 1'-0"



4 ARCHITECTURAL PARA PET FEATURE PLAN  
1/2" = 1'-0"

GENERAL NOTES

OWNER'S NAME

OWNER'S SIGNATURE

TOWN OF NIAGARA-ON-THE-LAKE

LORD MAYOR

TOWN CLERK

Date

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.

NO.	DATE:	REVISION:	BY:
1	03.13.2018	SITE PLAN APPROVAL	J.P.
2	08.31.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

ST. DAVID'S DEVELOPMENT

1397 YORK RD & 242, 246 FOUR MILE CREEK RD, NIAGARA-ON-THE-LAKE

**A | C | K**  
architects  
www.ackarchitects.com

studio office:  
403 westminster way  
1305 SLM 5545  
F 905.944.5545  
M 905.944.5545  
H 905.944.5545  
C 905.944.5545

architectural office:  
1000 SLM 1000  
F 905.944.5545  
M 905.944.5545  
H 905.944.5545  
C 905.944.5545

SHEET TITLE:

DETAILS

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY:	SD/KMK/J.P.	DWG. No.
CHECKED BY:	MDA/JMR	A17
DATE:	SEPT 20 2016	
SCALE:	AS SHOWN	
PROJECT No.:	2014-176	

GENERAL NOTES

OWNER'S NAME

OWNER'S SIGNATURE



LORD MAYOR

TOWN CLERK

Date

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.

NO.	DATE:	REVISION:	BY:
1	03.13.2018	SITE PLAN APPROVAL	J.P.
2	08.31.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

ST. DAVID'S  
DEVELOPMENT

1397 YORK RD & 242, 246 FOUR MILE CREEK RD,  
NIAGARA-ON-THE-LAKE



**A | C | K**  
architects  
www.ackarchitects.com

studio office  
445 westmoreline drive  
1305 main street  
niagara falls, ontario  
L7A 3K2

architectural office  
1000 hurontario street, suite 102  
niagara falls, ontario  
L7A 3K2

SHEET TITLE:

DETAILS

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY: SD/KMK/JP

CHECKED BY: MDA/JMR

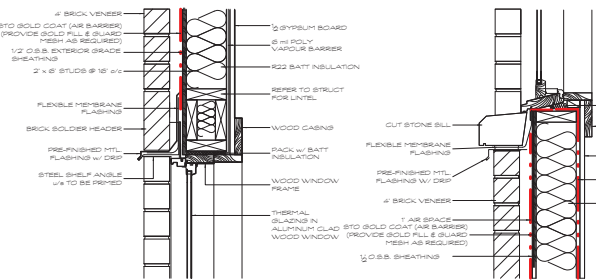
DATE: SEPT 20 2016

SCALE: AS SHOWN

PROJECT No.: 2014-176

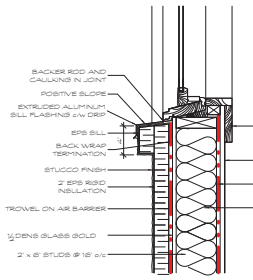
A18

NOTE: CONTRACTOR TO DISTINGUISH LOCATION OF CLEARLY LABELED DETAIL VIEWS



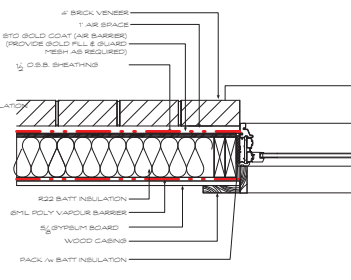
WINDOW HEAD DETAIL (BRICK)  
SCALE: 1-1/2" = 1'-0"

WINDOW SILL DETAIL (BRICK)  
SCALE: 1-1/2" = 1'-0"

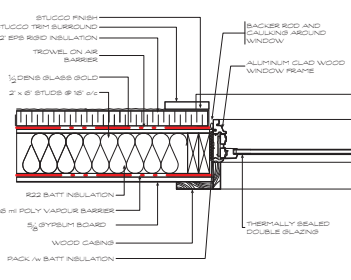


WINDOW SILL DETAIL (STUCCO)  
SCALE: 1-1/2" = 1'-0"

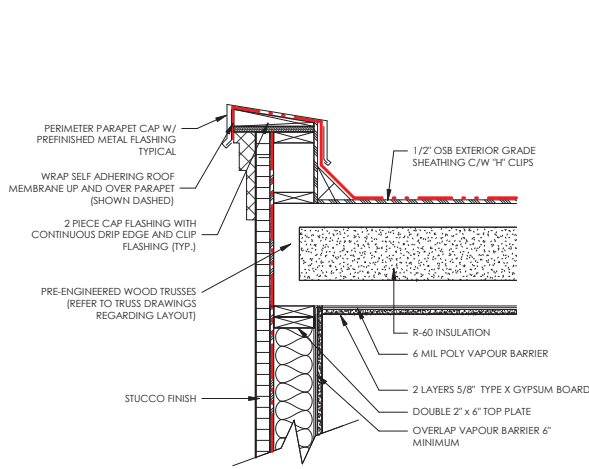
WINDOW HEAD DETAIL (STUCCO)  
SCALE: 1-1/2" = 1'-0"



WINDOW JAMB DETAIL (BRICK)  
SCALE: 1-1/2" = 1'-0"

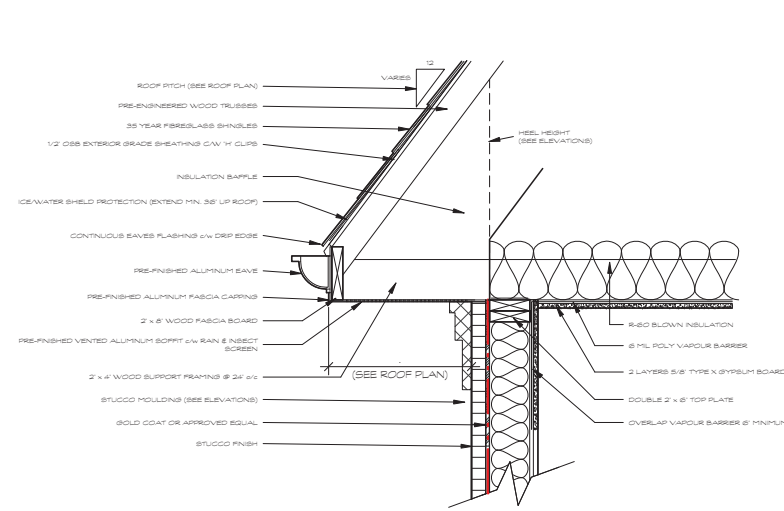


WINDOW JAMB DETAIL (STUCCO)  
SCALE: 1-1/2" = 1'-0"



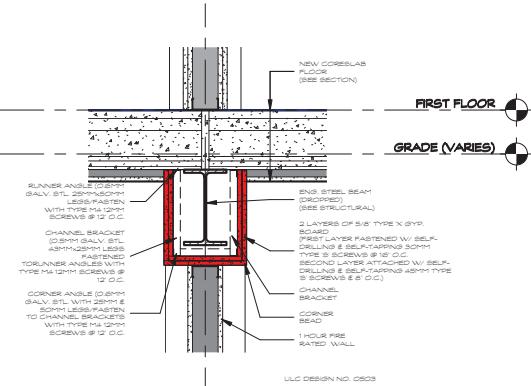
PARAPET DETAIL

1" = 1'-0"



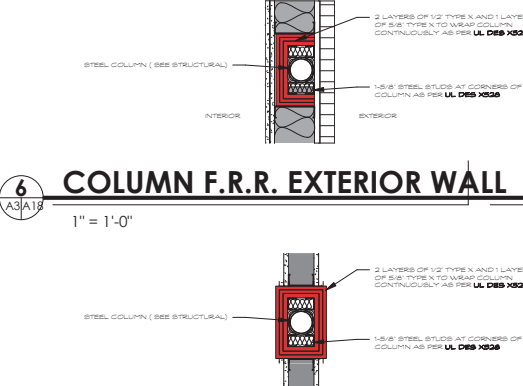
ROOF DETAIL

1" = 1'-0"



F.R.R. BEAM ENCLOSURE

1" = 1'-0"

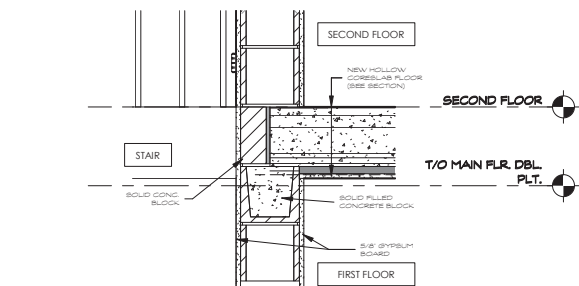


COLUMN F.R.R. EXTERIOR WALL

1" = 1'-0"

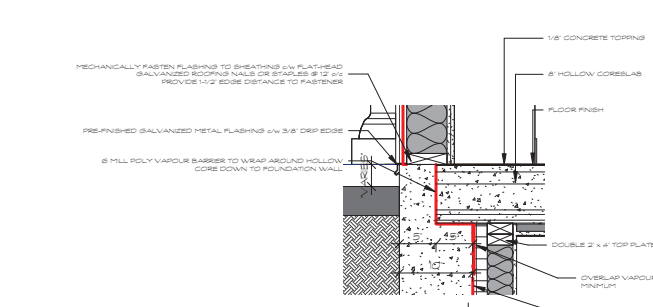
COLUMN F.R.R.

1" = 1'-0"



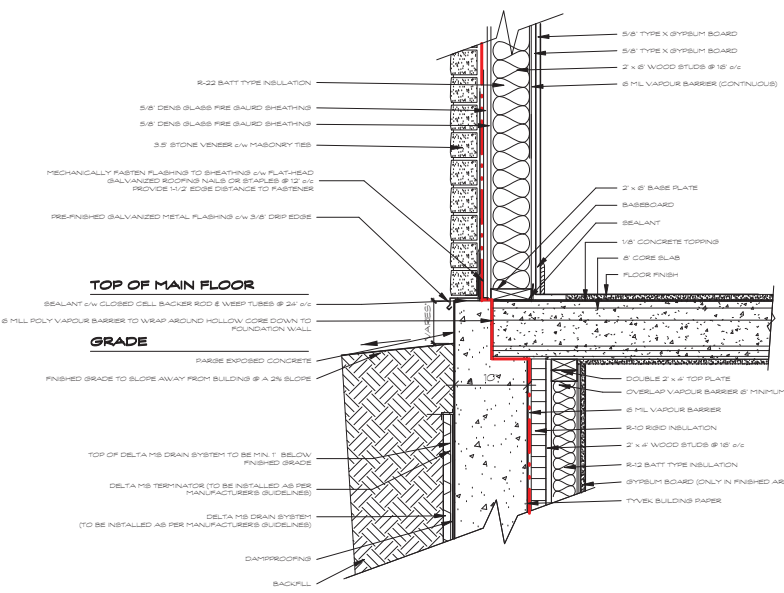
HOLLOW CORE BEARING ON CONC. BLOCK

1" = 1'-0"



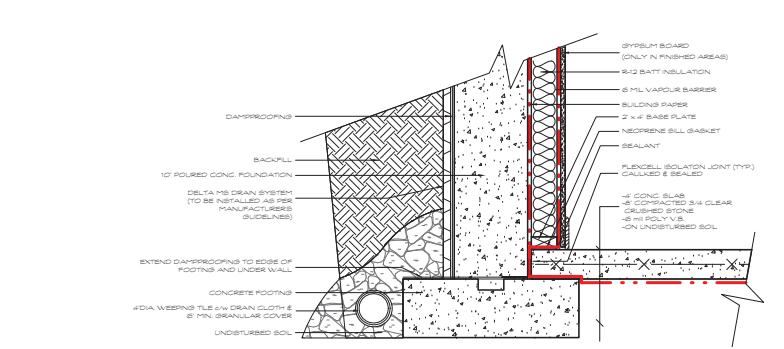
HOLLOW CORE DETAIL

1" = 1'-0"



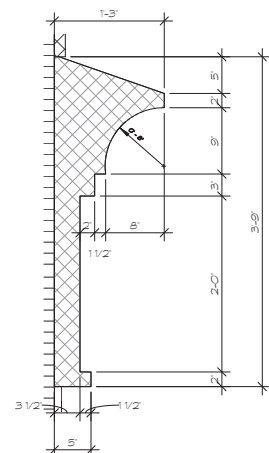
FIRST FLOOR DETAIL

1" = 1'-0"

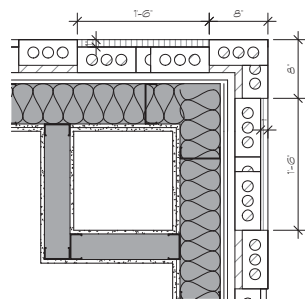


TYPICAL FOOTING DETAIL

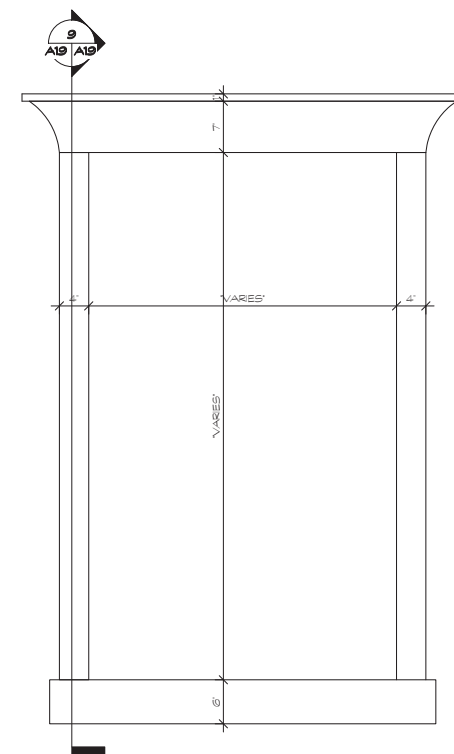
1" = 1'-0"



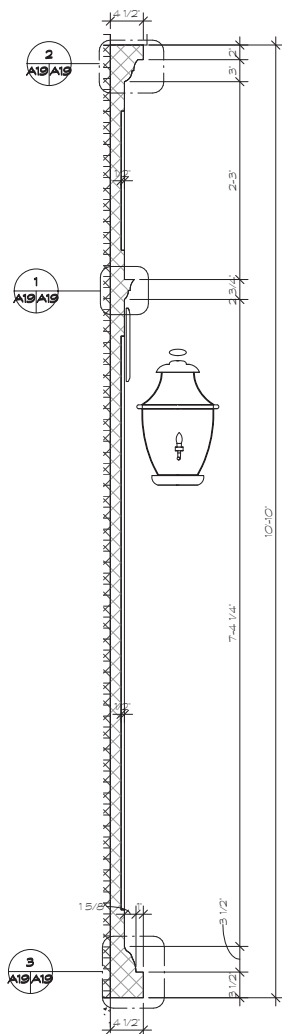
**5 DOOR HEADER**  
1" = 1'-0"



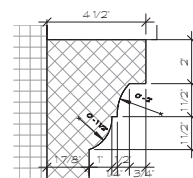
**7 BRICK FACADE DETAIL**  
1" = 1'-0"



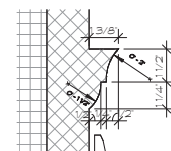
**8 WINDOW TRIM**  
1" = 1'-0"



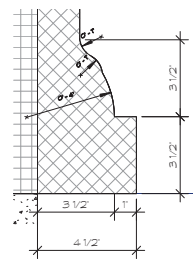
**4 DOOR MOLD**  
1" = 1'-0"



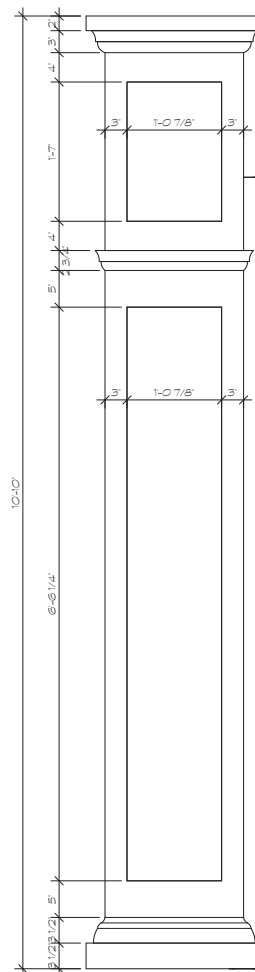
**2 TOP MOLD**  
3" = 1'-0"



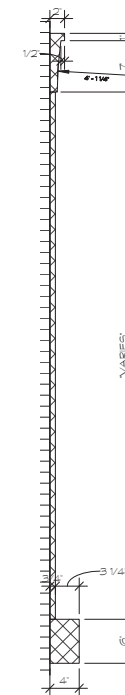
**MID MOLD**  
3" = 1'-0"



**3 BOTTOM MOLD**  
3" = 1'-0"



**6 DOOR MOLD ELEV.**  
1" = 1'-0"



**9 WINDOW TRIM DETAIL**

## GENERAL NOTES

OWNER'S NAME

OWNER'S SIGNATURE



LORD MAYOR

TOWN CLERK

Date \_\_\_\_\_

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.

[illegible]

COMMISSION:

## ST. DAVID'S DEVELOPMENT

1397 YORK RD & 242, 246 FOUR MILE CREEK RD,  
NIAGARA-ON-THE-LAKE



SHEET TITLE:

## MOLDINGS & FACADE

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender

Issued for Construction:

DRAWN BY:	SD/KMK/JP	DWG. No
-----------	-----------	---------

CHECKED BY:	MDA/
-------------	------

CHECKED BY:	MSA
DATE:	SEPT 20 1

DATE:	SEP 16 2010
SCALE:	AS SHOWN

PROJECT No.:	2014-176
--------------	----------

A19





PHYSICAL NOTES & LABELS SHOWN ENCLOSED W/ RECTANGULAR BORDERS APPLY TO ALL ELEVATION SUPPLEMENTS

PERIMETER PARAPET CAP MAY BE PROVIDED WITH FINISHING PHYSICAL

EXTERIOR TERRACE ROOF (SEE TYPE TERRACE ROOF DETAIL)

EXTERIOR TERRACE FINE FINISH CONTINUED

2ND GLASS BALCONY (GLASS TYPE)

BRICK DETAIL

PERIMETER PARAPET SHALL BE BUILT TO 4" DRIP GROOVE (TYP)

INTERIOR FRONT ENTRANCE ROOF (SEE TYPE FRONT ENTRANCE ROOF)

MINIMUM 8" OF ENCASED PARAPET FOUNDATION WALL PHYSICAL

LANDSCAPE GRADE TO STABLE (SITE COORDINATE BASED)

CONCRETE FOUNDATION BEYOND (SEE FOUNDATION PLAN)

CAST IN PLACE CONCRETE STEPS

8

9

10

11

12

13

14

15

ALPINE SLAT FENCE PRIVACY COVER

ALPINE PANELS

BRICK

STUCCO (D)

W1

W2

W3

W4

W5

W6

W7

W8

W9

W10

W11

W12

W13

W14

W15

W16

W17

W18

W19

W20

W21

W22

W23

W24

W25

W26

W27

W28

W29

W30

W31

W32

W33

W34

W35

W36

W37

W38

W39

W40

W41

W42

W43

W44

W45

W46

W47

W48

W49

W50

W51

W52

W53

W54

W55

W56

W57

W58

W59

W60

W61

W62

W63

W64

W65

W66

W67

W68

W69

W70

W71

W72

W73

W74

W75

W76

W77

W78

W79

W80

W81

W82

W83

W84

W85

W86

W87

W88

W89

W90

W91

W92

W93

W94

W95

W96

W97

W98

W99

W100

W101

W102

W103

W104

W105

W106

W107

W108

W109

W110

W111

W112

W113

W114

W115

W116

W117

W118

W119

W120

W121

W122

W123

W124

W125

W126

W127

W128

W129

W130

W131

W132

W133

W134

W135

W136

W137

W138

W139

W140

W141

W142

W143

W144

W145

W146

W147

W148

W149

W150

W151

W152

W153

W154

W155

W156

W157

W158

W159

W160

W161

W162

W163

W164

W165

W166

W167

W168

W169

W170

W171

W172

W173

W174

W175

W176

W177

W178

W179

W180

W181

W182

W183

W184

W185

W186

W187

W188

W189

W190

W191

W192

W193

W194

W195

W196

W197

W198

W199

W200

W201

W202

W203

W204

W205

W206

W207

W208

W209

W210

W211

W212

W213

W214

W215

W216

W217

W218

W219

W220

W221

W222

W223

W224

W225

W226

W227

W228

W229

W230

W231

W232

W233

W234

W235

W236

W237

W238

W239

W240

W241

W242

W243

W244

W245

W246

W247

W248

W249

W250

W251

W252

W253

W254

W255

W256

W257

W258

W259

W260

W261

W262

W263

W264

W265

W266

W267

W268

W269

W270

W271

W272

W273

W274

W275

W276

W277

W278

W279

W280

W281

W282

W283

W284

W285

W286

W287

W288

W289

W290

W291

W292

W293

W294

W295

W296

W297

W298

W299

W300

W301

W302

W303

W304

W305

W306

W307

W308

W309

W310

W311

W312

W313

W314

W315

W316

W317

W318

W319

W320

W321

W322

W323

W324

W325

W326

W327

W328

W329

W330

W331

W332

W333

W334

W335

W336

W337

W338

W339

W340

W341

W342

W343

W344

W345

W346

W347

W348

W349

W350

W351

W352

W353

W354

W355

W356

W357

W358

W359

W360

W361

W362

W363

W364

W365

W366

W367

W368

W369

W370

W371

W372

W373

W374

W375

W376

W377

W378

W379

W380

W381

W382

W383

W384

W385

W386

W387

W388

W389

W390

W391

W392

W393

W394

W395

W396

W397

W398

W399

W400

W401

W402

W403

W404

W405

W406

W407

W408

W409

W410

W411

W412

W413

W414

W415

W416

W417

W418

W419

W420

W421

W422

W423

W424

W425

W426

W427

W428

W429

W430

W431

W432

W433

W434

W435

W436

W437

W438

W439

W440

W441

W442

W443

W444

W445

W446

W447

W448

W449

W450

W451

W452

W453

W454

W455

W456

W457

W458

W459

W460

W461

W462

W463

W464

W465

W466

W467

W468

W469

W470

W471

W472

W473

W474

W475

W476

W477

W478

W479

W480

W481

W482

W483

W484

W485

W486

W487

W488

W489

W490

W491

W492

W493

W494

W495

W496

W497

W498

W499

W500

W501

W502

W503

W504

W505

W506

W507

W508

W509

W510

W511

W512

W513

W514

W515

W516

W517

W518

W519

W520

W521

W522

W523

W524

W525

W526

W527

W528

W529

W530

W531

W532

W533

W534

W535

W536

W537

W538

W539

W540

W541

W542

W543

W544

W545

W546

W547

W548

W549

W550

W551

W552

W553

W554

W555

W556

W557

W558

W559

W560

W561

W562

W563

W564

W565

W566

W567

W568

W569

W570

W571

W572

W573

W574

W575

W576

W577

W578

W579

W580

W581

W582

W583

W584

W585

W586

W587

W588

W589

W590

W591

W592

W593

W594

W595

W596

W597

W598

W599

W600

W601

W602

W603

W604

W605

W606

W607

W608

W609

W610

W611

W612

W613

W614

W615

W616

W617

W618

W619

W620

W621

W622

W623

W624

W625

W626

W627

W628

W629

W630

W631

W632

W633

W634

W635

W636

W637

W638

W639

W640

W641

W642

W643

W644

W645

W646

W647

W648

W649

W650

W651

W652

W653

W654

W655

W656

W657

W658

W659

W660

W661

W662

W663

W664

W665

W666

W667

W668

W669

W670

W671

W672

W673

W674

W675

W676

W677

W678

W679

W680

W681

W682

W683

W684

W685

W686

W687

W688

W689

W690

W691

W692

W693

W694

W695

W696

W697

W698

W699

W700

W701

W702

W703

W704

W705

W706

W707

W708

W709

W710

W711

W712

W713

W714

W715

W716

W717

W718

W719

W720

W721

W722

W723

W724

W725

W726

W727

W728

W729

W730

W731

W732

W733

W734

W735

W736

W737

W738

W739

W740

W741

W742

W743

W744

W745

W746

W747

W748

W749

W750

W751

W752

W753

W754

W755

W756

W757

W758

W759

W760

W761

W762

W763

W764

W765

W766

W767

W768

W769

W770

W771

W772

W773

W774

W775

W776

W777

W778

W779

W780

W781

W782

W783

W784

W785

W786

W787

W788

W789

W790

W791

W792

W793

W794

W795

W796

W797

W798

W799

W800

W801

W802

W803

W804

W805

W806

W807

W808

W809

W810

W811

W812

W813

W814

W815

W816

W817

W818

W819

W820

W821

W822

W823

W824

W825

W826

W827

W828

W829

W830

W831

W832

W833

W834

W835

W836

W837

W838

W839

W840

W841

W842

W843

W844

W845

W846

W847

W848

W849

W850

W851

W852

W853

W854

W855

W856

W857

W858

W859

W860

W861

W862

W863

W864

W865

W866

W867

W868

W869

W870

W871

W872

W873

W874

W875

W876

W877

W878

W879

W880

W881

W882

W883

W884

W885

W886

W887

W888

W889

W890

W891

W892

W893

W894

W895

W896

W897

W898

W899

W900

W901

W902

W903

W904

W905

W906

W907

W908

W909

W910

W911

W912

W913

W914

W915

W916

W917

W918

W919

W920

W921

W922

W923

W924

W925

W926

W927

W928

W929

W930

W931

W932

W933

W934

W935

W936

W937

W938

W939

W940

W941

W942

W943

W944

W945

W946

W947

W948

W949

W950

W951

W952

W953

W954

W955

W956

W957

W958

W959

W960

W961

W962

W963

W964

W965

W966

W967

W968

W969

W970

W971

W972

W973

W974

W975

W976

W977

W978

W979

W980

W981

W982

W983

W984

W985

W986

W987

W988

W989

W990

W991

W992

W993

W994

W995

W996

W997

W998

W999

W1000

W1001

W1002

W1003

W1004

W1005

W1006

W1007

W1008

W1009

W1010

W1011

W1012

W1013

W1014

W1015

W1016

W1017

W1018

W1019

W1020

W1021

W1022

W1023

W1024

W1025

W1026

W1027

W1028

W1029

W1030

W1031

W1032

W1033

W1034

W1035

W1036

W1037

W1038

W1039

W1040

W1041

W1042

W1043

W1044

W1045

W1046

W1047

W1048

W1049

W1050

W1051

W1052

W1053

W1054

W1055

W1056

W1057

W1058

W1059

W1060

W1061

W1062

W1063

W1064

W1065

W1066

W1067

W1068

W1069

W1070

W1071

W1072

W1073

W1074

W1075

W1076

W1077

W1078

W1079

W1080

W1081

W1082

W1083

W1084

W1085

W1086

W1087

W1088

W1089

W1090

W1091

W1092

W1093

W1094

W1095

W1096

W1097

W1098

W1099

W1100

W1101

W1102

W1103

W1104

W1105

W1106

W1107

W1108

W1109

W1110

W1111

W1112

W1113

W1114

W1115

W1116

W1117

W1118

W1119

W1120

W1121

W1122

W1123

W1124

W1125

W1126

W1127

W1128

W1129

W1130

W1131

W1132

W1133

W1134

W1135

W1136

W1137

W1138

W1139

W1140

W1141

W1142

W1143

W1144

W1145

W1146

W1147

W1148

W1149

W1150

W1151

W1152

W1153

W1154

W1155

W1156

W1157

W1158

W1159

W1160

W1161

W1162

W1163

W1164

W1165

W1166

W1167

W1168

W1169

W1170

W1171

W1172

W1173

W1174

W1175

W1176

W1177

W1178

W1179

W1180

W1181

W1182

W1183

W1184

W1185

W1186

W1187

W1188

W1189

W1190

W1191

W1192

W1193

W1194

W1195

W1196

W1197

W1198

W1199

W1200

W1201

W1202

W1203

W1204

W1205

W1206

W1207

W1208

W1209

W1210

W1211

W1212

W1213

W1214

W1215

W1216

W1217

W1218

W1219

W1220

W1221

W1222

W1223

W1224

W1225

W1226

W1227

W1228

W1229

W1230

W1231

W1232

W1233

W1234

W1235

W1236

W1237

W1238

W1239

W1240

W1241

W1242

W1243

W1244

W1245

W1246

W1247

W1248

W1249

W1250

W1251

W1252

W1253

W1254

W1255

W1256

W1257

W1258

W1259

W1260

W1261

W1262

W1263

W1264

W1265

W1266

W1267

W1268

W1269

W1270

W1271

W1272

W1273

W1274

W1275

W1276

W1277

W1278

W1279

W1280

W1281

W1282

W1283

W1284

W1285

W1286

W1287

W1288

W1289

W1290

W1291

W1292

W1293

W1294

W1295

W1296

W1297

W1298

W1299

W1300

W1301

W1302

W1303

W1304

W1305

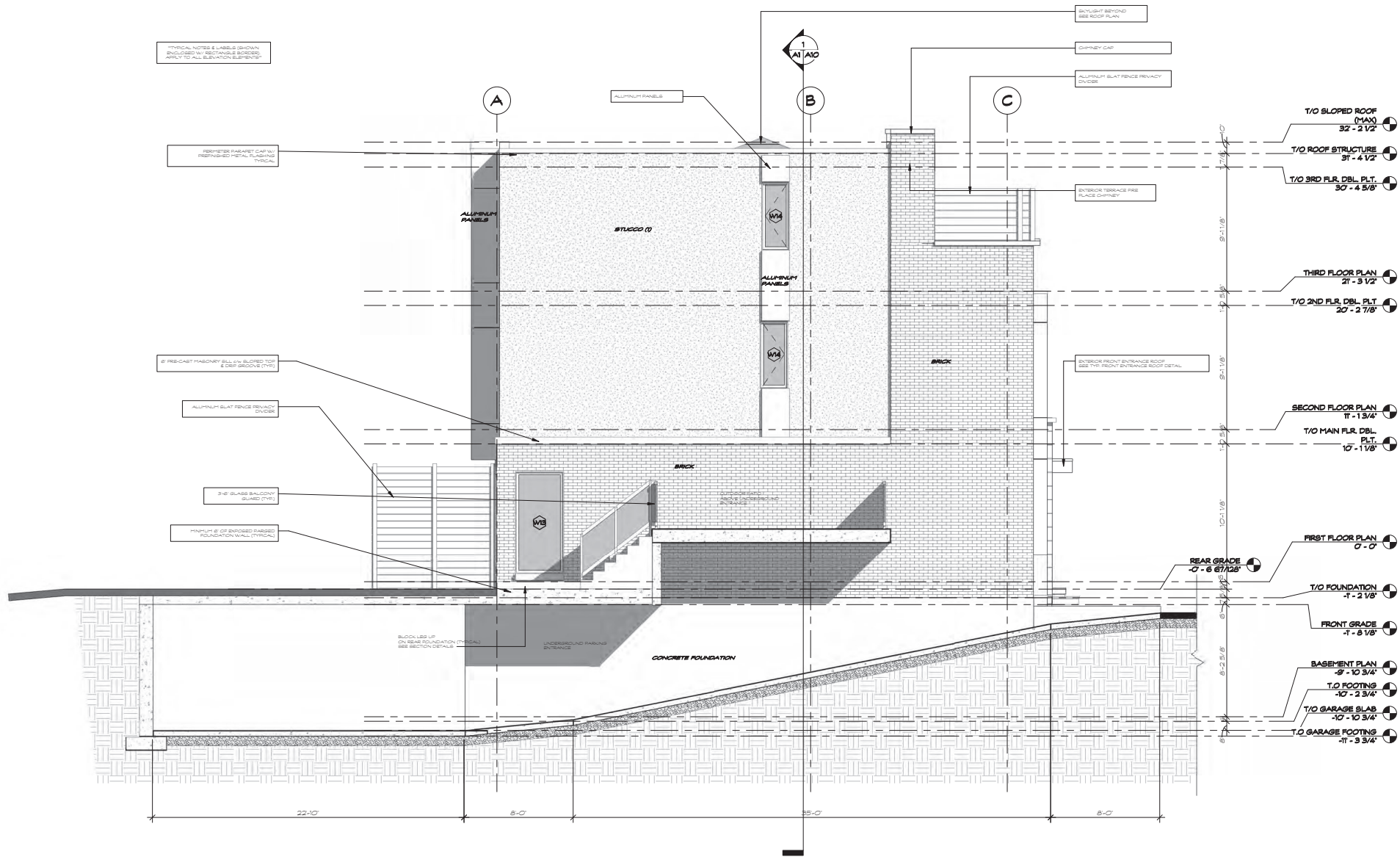
W1306

W1307

W130







NOTES:  
1. ALL BRACES SHOWN ARE PRELIMINARY AND ARE SUBJECT TO BRACE BASED ON FINAL BRACING PLAN.  
2. ALL FOOTINGS TO BE BUILT TO UNDISTURBED SOIL (TYPICAL).  
3. ALL EXTERIOR DOORS TO BE COORDINATED WITH EXTERIOR WALL GLAZINGS AND MATERIALS ACCORDINGLY BETWEEN SUPPLIER AND CONTRACTOR TO SITE COORDINATE AND FINISHES ALL PREPARED ALUM. SAILS WITH DOWNSPUTS ARE BROUGHT TO GRADE.  
4. CONTRACTOR TO COORDINATE LOCATION OF GAS & ELECTRIC METERS ON SITE WITH THE LOCAL AUTHORITIES HAVING JURISDICTION.  
5. CONTRACTOR TO COORDINATE LOCATION OF ALL REQUIRED STRAPPING FOR MECHANICAL DUCTS, RISERS & EQUIPMENT AS REQUIRED - REFERENCE MECHANICAL DRAWINGS (TYPICAL).  
6. ENSURE ALL FIRE SEPARATIONS ARE CONTINUOUS.  
7. ENSURE ALL PORT LOADS ARE CONTINUOUS TO FOUNDATION WALL SYSTEM.  
8. ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS (TYPICAL).  
9. MAIN WASHROOM REQUIRES WATERPROOF FLOOR FINISH - HARDWOOD NOT PERMITTED.  
10. PROVIDE PRE-ENG. TAIL WALL STUDS IN ALL AREAS OVER 11'-0" IN STUD WALL HEIGHT.  
11. ELECTRICAL CONTRACTOR TO PROVIDE ACCOMMODATIONS FOR ELECTRICAL VEHICLE CHARGING SYSTEMS AS PER O.B.C. 9.34.34.1

WINDOW/DOOR NOTES:  
1. ALL WINDOWS & DOORS SPECIFIED ARE SUPPLIED BY ANDERSON WINDOWS & DOORS. ANY CHANGE IN WINDOW MANUFACTURER REQUIRES NOTIFICATION OF THE ARCHITECT, OWNER AND GENERAL CONTRACTOR PRIOR TO ORDERING OF THE MANUFACTURE.  
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO CLIENT AND ARCHITECT FOR APPROVAL.  
3. ALLOW FOR A TYPICAL 1/4" AIR GULFSTREAM ALLOWANCE BETWEEN WINDOW UNIT AND WALL FINISHING.  
4. THE FINISH RUSH AND FINISHING (P.O.D.) IS TO BE AS REQUIRED BY WINDOW MANUFACTURER.  
5. WINDOW AND DOOR FRAME SILL AND HEAD INTERFERENCE TO BE COORDINATED WITH EXTERIOR WALL GLAZINGS AND MATERIALS ACCORDINGLY BETWEEN SUPPLIER AND CONTRACTOR TO SITE COORDINATE AND FINISHES ALL PREPARED ALUM. SAILS WITH DOWNSPUTS ARE BROUGHT TO GRADE.  
6. ALL WINDOWS IN BATHROOMS TO HAVE PROTECTED PRIVACY TINT GLASS.  
7. WINDOW OPERATIONS AND FINISHES TO BE COORDINATED WITH EXTERIOR WALL GLAZINGS AND MATERIALS ACCORDINGLY BETWEEN SUPPLIER AND CONTRACTOR TO SITE COORDINATE AND FINISHES ALL PREPARED ALUM. SAILS WITH DOWNSPUTS ARE BROUGHT TO GRADE.  
8. ALL INTERIOR DOORS TO BE SUPPLIED W/ DOOR SILL THRESHOLD WEATHER STRIPPING.

**BLDG B - EAST (LEFT) ELEVATION**  
1/4" = 1'-0"

WINDOW SCHEDULE				
TAG	WINDOW SIZE		HEAD HEIGHT	COMMENTS
	WIDTH	HEIGHT		
W1	2'-6"	7'-0"	8'-0"	FIXED
W2	2'-6"	7'-0"	8'-0"	OPERABLE CASEMENT
W3	2'-6"	3'-0"	12'-0"	FIXED
W4	2'-6"	7'-0"	7'-10"	FIXED
W5	2'-6"	7'-0"	7'-10"	FIXED
W6	2'-6"	7'-0"	7'-10"	OPERABLE CASEMENT
W7	2'-0"	6'-0"	8'-0"	OPERABLE CASEMENT
W8	2'-3"	7'-0"	8'-1"	FIXED
W9	3'-0"	7'-0"	7'-6"	FIXED
W10	3'-0"	7'-0"	7'-6"	FIXED
W11	2'-3"	4'-0"	7'-8"	OPERABLE CASEMENT
W12	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W13	3'-6"	7'-6"	8'-1"	FIXED
W14	2'-0"	5'-0"	8'-0"	OPERABLE CASEMENT
W15	3'-0"	3'-13/4"	10'-7 3/4"	SPANDREL PANEL
W16	5'-0"	5'-0"		SKYLIGHT

DOOR SCHEDULE			
DOOR TAG	COMMENTS	HEIGHT	WIDTH
D1	EXTERIOR SINGLE DOOR (FULL GLASS FRENCH DOOR) WEATHER TIGHT SEAL	8'-0"	3'-0"
D2	EXTERIOR 4 PANEL PATIO DOOR (2 MIDDLE SLIDERS) WEATHER TIGHT SEAL	8'-0"	12'-0"
D3	INTERIOR POCKET DOOR - 800 SERIES	8'-6"	3'-0"
D4	INTERIOR CLOSET DOOR - 800 SERIES	7'-0"	2'-0"
D5	INTERIOR DOOR - 800 SERIES	7'-0"	3'-0"
D6	INTERIOR BATHROOM DOOR - 800 SERIES	7'-0"	2'-8"
D7	INTERIOR BARN STYLE DOOR (SINGLE PANEL) FULL GLASS - TRANSPARENT GLASS	7'-0"	3'-0"
D8	EXTERIOR DOUBLE DOOR (FULL GLASS FRENCH DOORS) WEATHER TIGHT SEAL	8'-0"	4'-4"
D9	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-10"
D10	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL (PROTECTED GLASS)	8'-0"	1'-6"
D11	INTERIOR DOUBLE DOOR - 800 SERIES	7'-0"	5'-0"
D12	EXTERIOR (SINGLE PANEL - FRENCH STYLE) INSULATED SMOKE TIGHT / GAS TIGHT SEAL w/ SELF CLOSER	7'-0"	3'-0"
D13	INTERIOR DOOR - 800 SERIES	7'-0"	2'-8"
D14	OVER-HEAD GARAGE DOOR w/ WEATHER TIGHT SEAL & POWER DOOR OPENER (PROTECTED GLASS)	7'-0"	16'-0"
D15	EXTERIOR COMMERCIAL PUSH BAR DOOR (FULL GLASS) w/ SELF CLOSER	7'-0"	3'-0"
D16	DBL. 800 SERIES INTERIOR WOOD DOOR	7'-0"	3'-0"

GENERAL NOTES

1. ALL ENGINEERED FLOOR JOISTS, ENGINEERED PARALLEL BEAMS AND APPROVED ENGINEERED ROOF TRUSSES ARE TO BE SUPPLIED & DESIGNED BY WOOD SUPPLIER &/OR TRUSS MANUFACTURER.
2. ALL ROOF SPACE TO BE VENTED TO EXTERIOR BY VENT AREA OF NOT LESS THAN 1/200 SQ.FT. OF INSULATED CEILING AREA.
3. ALL STAIRS AS PER O.B.C. 9.8.3. (AS REQUIRED).
4. ALL HANDRAILES AS PER O.B.C. 9.8.6. (AS REQUIRED).
5. ALL GUARDS AS PER O.B.C. 9.8.6. (AS REQUIRED).
6. ALL DOORS & WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.8.3 & 9.7.6.
7. ALL FOOTINGS TO BE A MIN. OF 4'-0" (1.2M) BELOW GRADE.
8. ALL FOOTINGS TO BE SETTING ON UNDISTURBED SOIL OR SOLID BEARING ROCK CAPABLE OF RESISTING 75PSI LOAD.
9. STEP FOOTINGS AS PER O.B.C. 9.15.3.9.
10. PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1.
11. ROOF VALLEY FLASHING AS PER O.B.C. 9.26.4.
12. JOISTS SUPPORTED BY BEAMS AS PER O.B.C. 9.23.9.2.
13. END BEARING FOR JOISTS AS PER O.B.C. 9.23.9.1. OR AS PER ENGINEERED WOOD JOIST JOISTS MANUFACTURER (AS APPLICABLE).
14. STAIRS AS PER O.B.C. 9.8.  
MAX. RISE = 7'7 1/2" (235mm)  
MIN. RISE = 6'3 1/2" (200mm)  
MIN. TREAD = 9'1 1/4" (235mm)  
MIN. NOSING = 1" (25mm)  
MIN. HEADROOM = 6'0" (180mm)  
MIN. WIDTH = 2'-0" (600mm)  
HANDRAILS = 2'-6" (800mm)  
RAILING PICKETS MAX. 4" (100mm) BETWEEN  
2'-0" (600mm) MIN. AND 2'-6" (800mm) MAX. HEIGHT  
(O.B.C. 9.8.7 RAILINGS & O.B.C. 9.8.8 RAILINGS)
15. PROVIDE STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS AS PER O.B.C. 9.13.3.
16. CONTRACTOR TO COORDINATE LOCATION OF GAS & ELECTRIC METERS ON SITE WITH THE LOCAL AUTHORITIES HAVING JURISDICTION.
17. CONTRACTOR TO COORDINATE LOCATION OF ALL REQUIRED STRAPPING FOR MECHANICAL DUCTS, RISERS & EQUIPMENT AS REQUIRED - REFERENCE MECHANICAL DRAWINGS (TYPICAL).
18. ENSURE ALL FIRE SEPARATIONS ARE CONTINUOUS.
19. ENSURE ALL PORT LOADS ARE CONTINUOUS TO FOUNDATION WALL SYSTEM.
20. ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS (TYPICAL).
21. MAIN WASHROOM REQUIRES WATERPROOF FLOOR FINISH - HARDWOOD NOT PERMITTED.
22. PROVIDE PRE-ENG. TAIL WALL STUDS IN ALL AREAS OVER 11'-0" IN STUD WALL HEIGHT.
23. ELECTRICAL CONTRACTOR TO PROVIDE ACCOMMODATIONS FOR ELECTRICAL VEHICLE CHARGING SYSTEMS AS PER O.B.C. 9.34.34.1

OWNER'S NAME

OWNER'S SIGNATURE

TOWN OF NIAGARA-ON-THE-LAKE

LORD MAYOR

TOWN CLERK

Date

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are

NO.	DATE	REVISION	BY
1	03.13.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

**ST. DAVID'S DEVELOPMENT**

1397 YORK ROAD & 242, 246 FOUR MILE CREEK ROAD  
NIAGARA-ON-THE-LAKE, ONTARIO

**A | C | K**  
architects  
www.ackarchitects.com

studio office  
440 westman ave.  
7th floor, suite 700  
Niagara Falls, ON  
L7R 4R6  
tel: 905.352.1111  
fax: 905.352.1112  
info@ackarchitects.com

SHEET TITLE:

**BUILDING B EAST ELEVATIONS**

Issued for Re-Zoning

Issued for Site Plan Agreement

Issued for Permit

Issued for Tender

Issued for Construction

DRAWN BY: JP / SD / JV DWG. No.

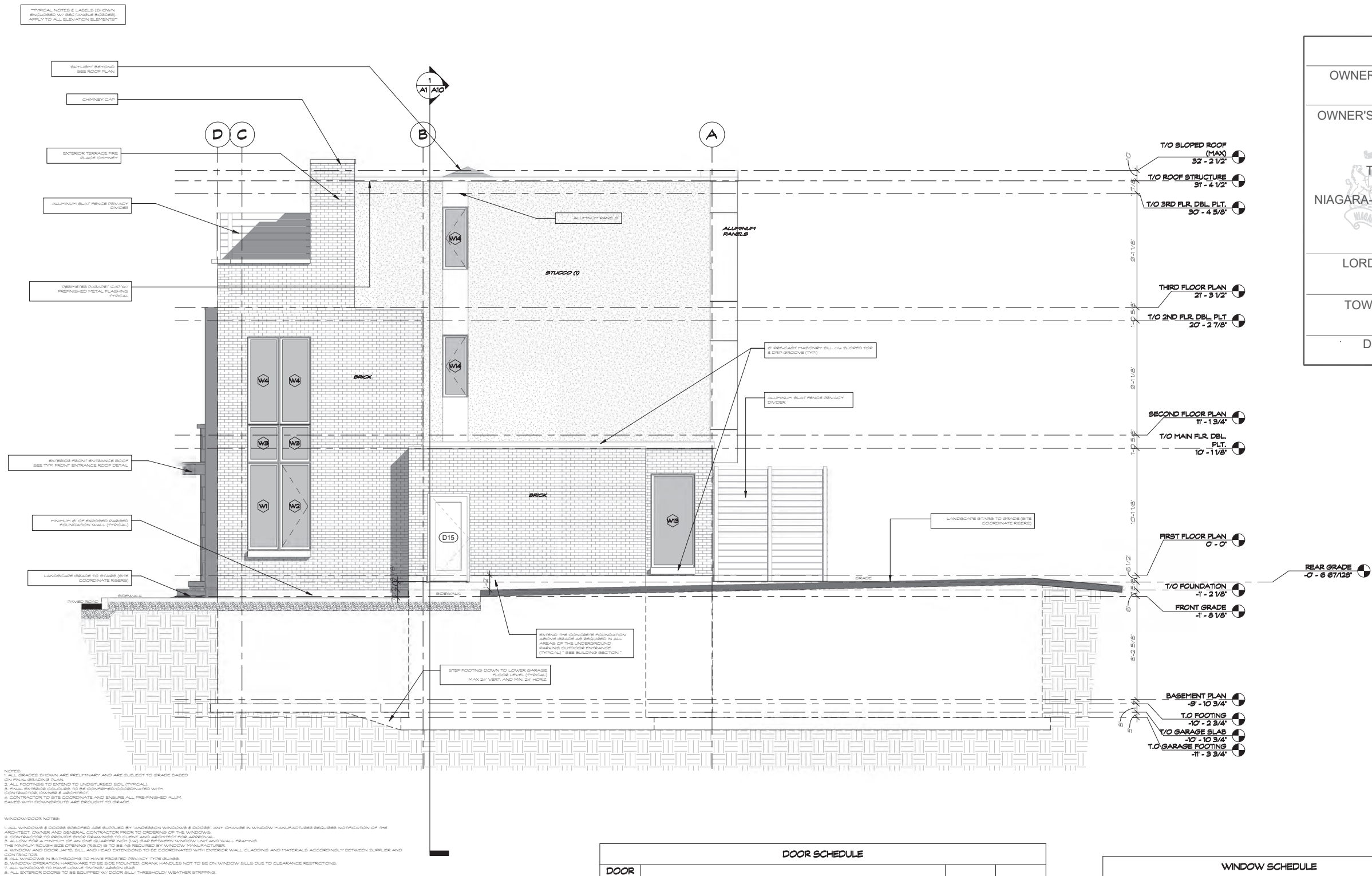
CHECKED BY: MDA

DATE: AUG. 24.2018

SCALE: AS SHOWN

PROJECT No.: 2014-176

**A8**



BLDG B - WEST (RIGHT) ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE			
DOOR TAG	COMMENTS	HEIGHT	WIDTH
D1	EXTERIOR SINGLE DOOR (FULL GLASS FRENCH DOOR) WEATHER TIGHT SEAL	8'-0"	3'-0"
D2	EXTERIOR 4 PANEL PATIO DOOR (2 MIDDLE SLIDERS) WEATHER TIGHT SEAL	8'-0"	12'-0"
D3	INTERIOR POCKET DOOR - 800 SERIES	6'-8"	3'-0"
D4	INTERIOR CLOSET DOOR - 800 SERIES	7'-0"	2'-0"
D5	INTERIOR DOOR - 800 SERIES	7'-0"	3'-0"
D6	INTERIOR BATHROOM DOOR - 800 SERIES	7'-0"	2'-8"
D7	INTERIOR BARN STYLE DOOR (SINGLE PANEL) FULL GLASS - TRANSPARENT GLASS	7'-0"	3'-0"
D8	EXTERIOR DOUBLE DOOR (FULL GLASS FRENCH DOORS) WEATHER TIGHT SEAL	8'-0"	4'-4"
D9	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-10"
D10	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-6"
D11	INTERIOR DOUBLE DOOR - 800 SERIES	7'-0"	5'-0"
D12	EXTERIOR (SINGLE PANEL - FRENCH STYLE) INSULATED SMOKE TIGHT / GAS TIGHT SEAL w/ SELF CLOSER	7'-0"	3'-0"
D13	INTERIOR DOOR - 800 SERIES	7'-0"	2'-8"
D14	OVER-HEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER (FROSTED GLASS)	7'-0"	16'-0"
D15	EXTERIOR COMMERCIAL PUSH BAR DOOR (FULL GLASS) w/ SELF CLOSER	7'-0"	3'-0"
D16	DBL 800 SERIES INTERIOR WOOD DOOR	7'-0"	3'-0"

WINDOW SCHEDULE				
TAG	WINDOW SIZE WIDTH	HEIGHT	HEAD HEIGHT	COMMENTS
W1	2'-6"	7'-0"	9'-0"	FIXED
W2	2'-6"	7'-0"	9'-0"	OPERABLE CASEMENT
W3	2'-6"	3'-0"	12'-0"	FIXED
W4	2'-6"	7'-0"	7'-10"	FIXED
W5	2'-6"	7'-0"	7'-10"	FIXED
W6	2'-6"	7'-0"	7'-10"	OPERABLE CASEMENT
W7	2'-0"	6'-0"	8'-0"	OPERABLE CASEMENT
W8	2'-3"	7'-0"	8'-1"	FIXED
W9	3'-0"	7'-0"	7'-6"	FIXED
W10	3'-0"	7'-0"	7'-6"	FIXED
W11	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W12	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W13	3'-6"	7'-6"	8'-1"	FIXED
W14	2'-0"	5'-0"	8'-0"	OPERABLE CASEMENT
W15	3'-0"	3'-13/4"	10'-7 3/4"	SPANDREL PANEL
W16	5'-0"	5'-0"		SKYLIGHT

GENERAL NOTES

- ALL ENGINEERED FLOOR JOISTS, ENGINEERED PARRALLAM BEAMS AND APPROVED ENGINEERED ROOF TRUSSES ARE TO BE SUPPLIED & DESIGNED BY WOOD SUPPLIER &/OR TRUSS MANUFACTURER.
- ALL ROOF SPACE TO BE VENTED TO EXTERIOR BY VENT AREA OF NOT LESS THAN 1/500 SQFT. OF INSULATED CEILING AREA.
- ALL STAIRS AS PER O.B.C. 9.8.3. (AS REQUIRED).
- ALL HANDRAILS AS PER O.B.C. 9.8.7. (AS REQUIRED).
- ALL GUARDS AS PER O.B.C. 9.8.8. (AS REQUIRED).
- ALL DOORS & WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.8.8. & 9.7.6.
- ALL FOOTINGS TO BE A MIN. OF 4'-0" (1.2M) BELOW GRADE.
- ALL FOOTINGS TO BE RESTING ON UNDISTURBED SOIL OR SOLID BEARING ROCK, CAPABLE OF RESISTING 75KPa LOAD.
- STEP FOOTINGS AS PER OBC 9.15.3.9.
- PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1.
- ROOF VALLEY FLASHING AS PER O.B.C. 9.26.4.
- JOISTS SUPPORTED BY BEAMS AS PER O.B.C. 9.23.9.2.
- END BEARING FOR JOISTS AS PER O.B.C. 9.23.9.1. OR AS PER ENGINEERED WOOD FLOOR JOISTS MANUFACTURER (AS APPLICABLE).
- STAIRS AS PER O.B.C. 9.8.  
MAX. RISE = 7'-8" (233mm)  
MIN. RUN = 8'-3" (250mm)  
MIN. TREAD = 9'-1" (273mm)  
MIN. NOSGING = 1'-0" (305mm)  
MIN. HEADROOM = 6'-5" (1950mm)  
GUARDS = 3'-6" (1067mm)  
HANDRAILS = 2'-5" (762mm)  
MIN. WIDTH = 2'-10" (860mm)  
RAILING PICKETS MAX. 4" (100mm) BETWEEN  
2'-7" (800mm) MIN. AND 3'-6" (1100mm) MAX. HEIGHT  
(O.B.C. 9.8.7 RAILINGS & O.B.C. 1.8 GUARDS)
- PROVIDE STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS AS PER O.B.C. 9.5.2.3.
- CONTRACTOR TO COORDINATE LOCATION OF GAS & ELECTRIC METERS ON SITE WITH THE LOCAL AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO COORDINATE LOCATION OF ALL REQUIRED STRAPPING FOR MECHANICAL DUCTS, RISERS & EQUIPMENT AS REQUIRED - REFERENCE MECHANICAL DRAWINGS (TYPICAL).
- ENSURE ALL FIRE SEPARATIONS ARE CONTINUOUS.
- ENSURE ALL POINT LOADS ARE CONTINUOUS TO FOUNDATION WALL SYSTEMS.
- ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS (TYPICAL).
- MAIN WASHROOM REQUIRES WATERPROOF FLOOR FINISH - HARDWOOD NOT PERMITTED.
- PROVIDE PRE-ENG. TALL WALL STUDS IN ALL AREAS OVER 11'-0" IN STUD WALL HEIGHT.
- ELECTRICAL CONTRACTOR TO PROVIDE ACCOMMODATIONS FOR ELECTRICAL VEHICLE CHARGING SYSTEMS AS PER O.B.C. 9.34.3.4.1.

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are

NO.	DATE	REVISION	BY
1	03.13.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

ST. DAVID'S DEVELOPMENT

1397 YORK ROAD & 242, 246 FOUR MILE CREEK ROAD  
NIAGARA-ON-THE-LAKE, ONTARIO


**ACK architects**  
www.ackarchitects.com

studio office  
1305 WILSON AVE.  
SUITE 100  
NIAGARA FALLS, ONTARIO  
L7S 1K2

architectural office  
1100 WATSON AVE., SUITE 102  
FALLS CREEK, ONTARIO  
L7S 1K2

SHEET TITLE:

BUILDING B WEST ELEVATION

Issued for Re-Zoning

Issued for Site Plan Agreement.

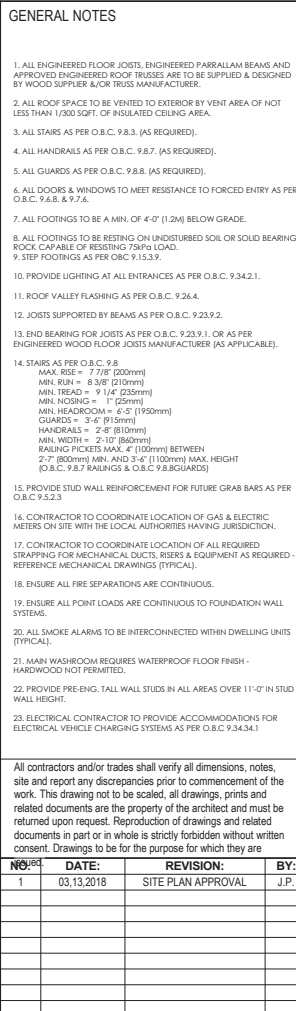
Issued for Permit.

Issued for Tender.

Issued for Construction.

DRAWN BY:	JP / SD / JV	DWG. No.	A9
CHECKED BY:	MDA		
DATE:	AUG. 24 2018		
SCALE:	AS SHOWN		
PROJECT No.:	2014-176		




$$1/4'' = 1'-0''$$

WINDOW SCHEDULE				
TAG	WINDOW SIZE		HEAD HEIGHT	COMMENTS
	WIDTH	HEIGHT		
W1	2'-6"	7'-0"	9'-0"	FIXED
W2	2'-6"	7'-0"	9'-0"	OPERABLE CASEMENT
W3	2'-6"	3'-0"	12'-0"	FIXED
W4	2'-6"	7'-0"	7'-10"	FIXED
W5	2'-6"	7'-0"	7'-10"	FIXED
W6	2'-6"	7'-0"	7'-10"	OPERABLE CASEMENT
W7	2'-0"	6'-0"	8'-0"	OPERABLE CASEMENT
W8	2'-3"	7'-0"	8'-1"	FIXED
W9	3'-0"	7'-0"	7'-6"	FIXED
W10	3'-0"	7'-0"	7'-6"	FIXED
W11	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W12	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W13	3'-6"	7'-6"	8'-1"	FIXED
W14	2'-0"	5'-0"	8'-0"	OPERABLE CASEMENT
W15	3'-0"	3'-1 3/4"	10'-7 3/4"	SPANDREL PANEL
W16	5'-0"	5'-0"		SKYLIGHT

OWNER'S NAME
OWNER'S SIGNATURE

LORD MAYOR
TOWN CLERK
Date

COMMISSION:

## ST. DAVID'S DEVELOPMENT

1397 YORK ROAD & 242, 246 FOUR MILE CREEK ROAD  
NIAGARA-ON-THE-LAKE, ONTARIO

**A | C | K**  
architect  
[www.ackarchitects.com](http://www.ackarchitects.com)

studio office:  
443 eastchase ave.  
T 905.884.5545  
F 905.884.5542  
st. catharines, ontario  
l2m 6a2

architectural office:  
100 sunnyside ave., suite 100  
T 416.462.3333  
F 416.462.3334  
toronto, ontario  
m6h 2h4

SHEET TITLE:

BUILDING C NORTH  
ELEVATION

Issued for Re-Zoning

Issued for Site Plan Agreement

Issued for Permit:

Issued for Tender

Issued for Construction

DRAWN BY: .JP / SD / J

CHECKED BY: MD

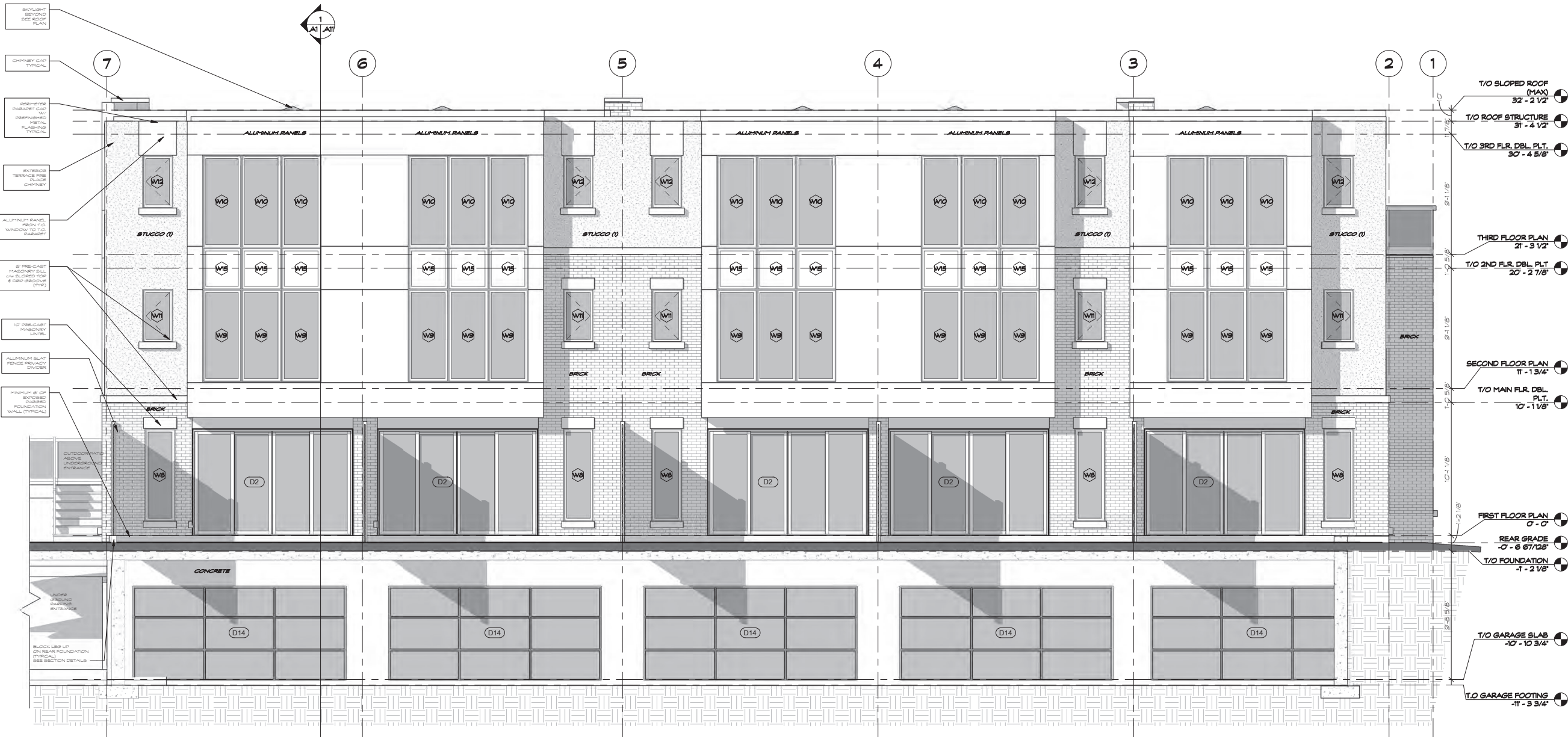
DATE: AUG 24 201

SCALE: AS SHOWN

.A6



TYPICAL NOTES & LABELS SHOWN  
ENCLOSED W/ RECTANGLE BOARDS  
APPLY TO ALL ELEVATION ELEMENTS



BLDG C -SOUTH (REAR) ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE			
DOOR TAG	COMMENTS	HEIGHT	WIDTH
D1	EXTERIOR SINGLE DOOR (FULL GLASS FRENCH DOOR) WEATHER TIGHT SEAL	8'-0"	3'-0"
D2	EXTERIOR 4 PANEL PATIO DOOR (2 MIDDLE SLIDERS) WEATHER TIGHT SEAL	8'-0"	12'-0"
D3	INTERIOR POCKET DOOR - 800 SERIES	6'-8"	3'-0"
D4	INTERIOR CLOSET DOOR - 800 SERIES	7'-0"	2'-0"
D5	INTERIOR DOOR - 800 SERIES	7'-0"	3'-0"
D6	INTERIOR BATHROOM DOOR - 800 SERIES	7'-0"	2'-8"
D7	INTERIOR BARN STYLE DOOR (SINGLE PANEL) FULL GLASS - TRANSPARENT GLASS	7'-0"	3'-0"
D8	EXTERIOR DOUBLE DOOR (FULL GLASS FRENCH DOORS) WEATHER TIGHT SEAL	8'-0"	4'-4"
D9	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-10"
D10	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-6"
D11	INTERIOR DOUBLE DOOR - 800 SERIES	7'-0"	5'-0"
D12	EXTERIOR (SINGLE PANEL - FRENCH STYLE) INSULATED SMOKE TIGHT / GAS TIGHT SEAL w/ SELF CLOSER	7'-0"	3'-0"
D13	INTERIOR DOOR - 800 SERIES	7'-0"	2'-8"
D14	OVERHEAD GARAGE DOOR w/ WEATHER TIGHT SEAL & POWER DOOR OPENER (FROSTED GLASS)	7'-0"	16'-0"
D15	EXTERIOR COMMERCIAL PUSH BAR DOOR (FULL GLASS) w/ SELF CLOSER	7'-0"	3'-0"
D16	CEL 800 SERIES INTERIOR WOOD DOOR	7'-0"	3'-0"

WINDOW SCHEDULE				
TAG	WINDOW SIZE	HEAD HEIGHT	COMMENTS	
	WIDTH	HEIGHT		
W1	2'-6"	7'-0"	9'-0"	FIXED
W2	2'-6"	7'-0"	9'-0"	OPERABLE CASEMENT
W3	2'-6"	3'-0"	12'-0"	FIXED
W4	2'-6"	7'-0"	7'-10"	FIXED
W5	2'-6"	7'-0"	7'-10"	FIXED
W6	2'-6"	7'-0"	7'-10"	OPERABLE CASEMENT
W7	2'-0"	6'-0"	8'-0"	OPERABLE CASEMENT
W8	2'-3"	7'-0"	8'-1"	FIXED
W9	3'-0"	7'-0"	7'-6"	FIXED
W10	3'-0"	7'-0"	7'-6"	FIXED
W11	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W12	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W13	3'-6"	7'-6"	8'-1"	FIXED
W14	2'-0"	5'-0"	8'-0"	OPERABLE CASEMENT
W15	3'-0"	3'-1 3/4"	10'-7 3/4"	SPANDREL PANEL
W16	5'-0"	5'-0"		SKYLIGHT

GENERAL NOTES

- ALL ENGINEERED FLOOR JOISTS, ENGINEERED PARRALLAM BEAMS AND APPROVED ENGINEERED ROOF TRUSSES ARE TO BE SUPPLIED & DESIGNED BY WOOD SUPPLIER &/OR TRUSS MANUFACTURER.
- ALL ROOF SPACE TO BE VENTED TO EXTERIOR BY VENT AREA OF NOT LESS THAN 1/300 SQFT. OF INSULATED CEILING AREA.
- ALL STAIRS AS PER O.B.C. 9.8.3. (AS REQUIRED).
- ALL HANDRAILS AS PER O.B.C. 9.8.7. (AS REQUIRED).
- ALL GUARDS AS PER O.B.C. 9.8.8. (AS REQUIRED).
- ALL DOORS & WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.8.8. & 9.7.6.
- ALL FOOTINGS TO BE A MIN. OF 4'-0" (1.2M) BELOW GRADE.
- ALL FOOTINGS TO BE RESTING ON UNDISTURBED SOIL OR SOLID BEARING ROCK CAPABLE OF RESTING 75PSI LOAD.
- STEP FOOTINGS AS PER OBC 9.15.3.9.
- PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1.
- ROOF VALLEY FLASHING AS PER O.B.C. 9.26.4.
- JOISTS SUPPORTED BY BEAMS AS PER O.B.C. 9.23.9.2.
- END BEARING FOR JOISTS AS PER O.B.C. 9.23.9.1. OR AS PER ENGINEERED WOOD FLOOR JOISTS MANUFACTURER (AS APPLICABLE).
- STAIRS AS PER O.B.C. 9.8.  
MAX. RISE = 7'7 7/8" (200mm)  
MIN. RUN = 8'3 3/8" (250mm)  
MIN. HEAD = 9'1 1/4" (250mm)  
MIN. NOSE = 1" (25mm)  
MIN. HEADROOM = 6'-5" (1950mm)  
GUARDS = 3'-4" (950mm)  
HANDRAILS = 2'-6" (810mm)  
MIN. WIDTH = 2'-10" (860mm)  
RAILING PICKETS MAX. 4" (100mm) BETWEEN  
2'-7" (800mm) MIN. AND 3'-4" (1100mm) MAX. HEIGHT  
(O.B.C. 9.8.7 RAILINGS & O.B.C. 9.8.8 GUARDS)
- PROVIDE STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS AS PER O.B.C. 9.5.2.3.
- CONTRACTOR TO COORDINATE LOCATION OF GAS & ELECTRIC METERS ON SITE WITH THE LOCAL AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO COORDINATE LOCATION OF ALL REQUIRED STRAPPING FOR MECHANICAL DUCTS, RISERS & EQUIPMENT AS REQUIRED. REFERENCE MECHANICAL DRAWINGS (TYPICAL).
- ENSURE ALL FIRE SEPARATIONS ARE CONTINUOUS.
- ENSURE ALL FIRE LOADS ARE CONTINUOUS TO FOUNDATION WALL SYSTEMS.
- ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS (TYPICAL).
- MAIN WASHROOM REQUIRES WATERPROOF FLOOR FINISH - HARDWOOD NOT PERMITTED.
- PROVIDE PRE-ENG. TALL WALL STUDS IN ALL AREAS OVER 11'-0" IN STUD WALL HEIGHT.
- ELECTRICAL CONTRACTOR TO PROVIDE ACCOMMODATIONS FOR ELECTRICAL VEHICLE CHARGING SYSTEMS AS PER O.B.C. 9.34.3.1.

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are

NO.	DATE:	REVISION:	BY:
1	03.13.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

ST. DAVID'S  
DEVELOPMENT

1397 YORK ROAD & 242, 246 FOUR MILE CREEK ROAD  
NIAGARA-ON-THE-LAKE, ONTARIO

OWNER'S NAME

OWNER'S SIGNATURE



LORD MAYOR

TOWN CLERK

Date

A|C|K  
architects  
www.ackarchitects.com

studio office  
443 westminster road  
783.886.5245  
F 905.886.5245  
44. capitalines, ontario  
l3n 4k2

architectural office  
100 bayview ave., suite 102  
749.482.0880  
F 416.482.0880  
mississauga, ontario  
l4w 0k3

SHEET TITLE:

BUILDING C SOUTH  
ELEVATION

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY: JP / SD / JV DWG. No.

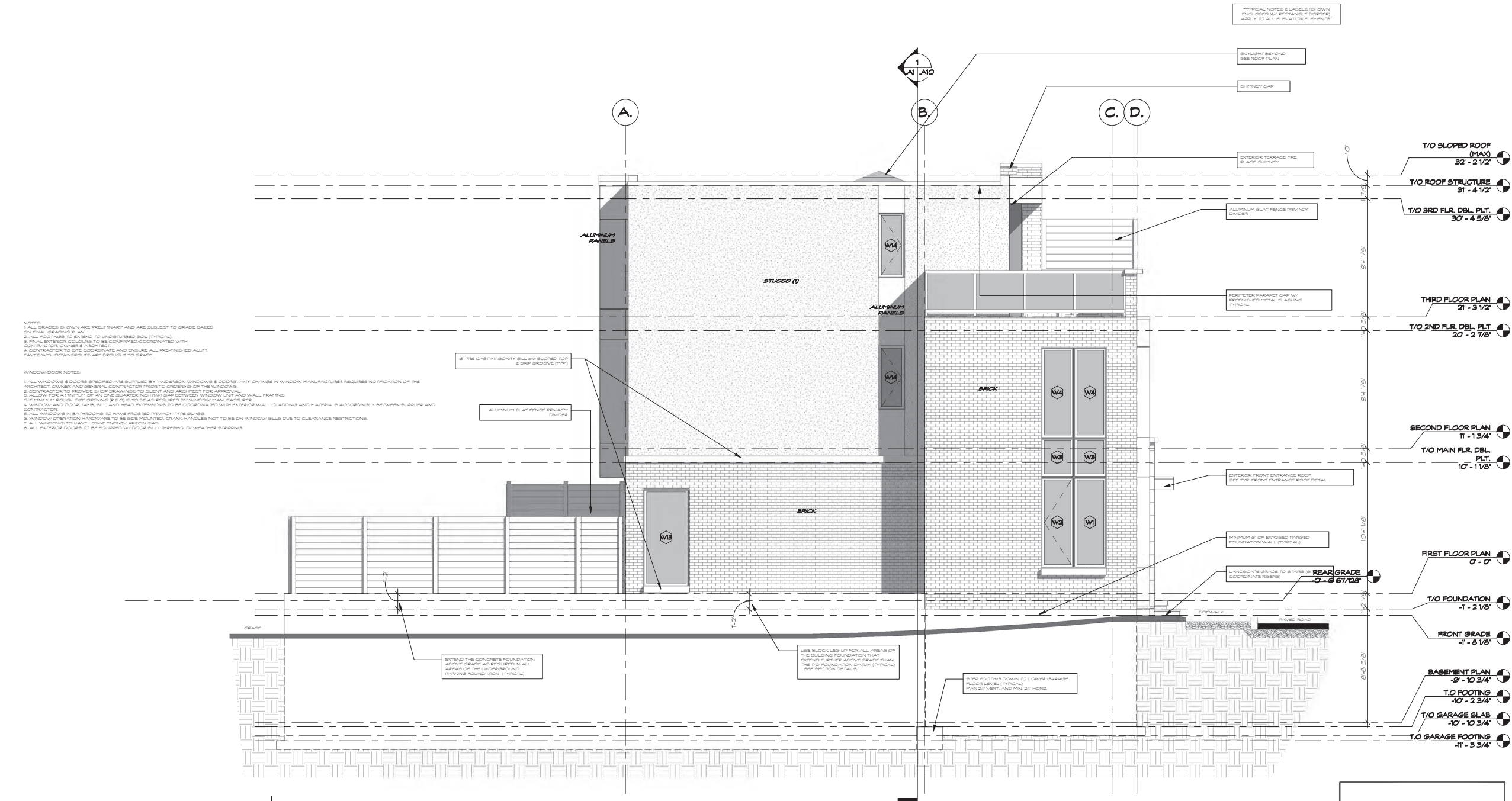
CHECKED BY: MDA

DATE: AUG. 24 2018

SCALE: AS SHOWN

PROJECT No.: 2014-176

A7



BLDG C - EAST (LEFT) ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE			
DOOR TAG	COMMENTS	HEIGHT	WIDTH
D1	EXTERIOR SINGLE DOOR (FULL GLASS FRENCH DOOR) WEATHER TIGHT SEAL	8'-0"	3'-0"
D2	EXTERIOR 4 PANEL PATIO DOOR (2 MIDDLE SLIDERS) WEATHER TIGHT SEAL	8'-0"	12'-0"
D3	INTERIOR POCKET DOOR - 800 SERIES	6'-8"	3'-0"
D4	INTERIOR CLOSET DOOR - 800 SERIES	7'-0"	2'-0"
D5	INTERIOR DOOR - 800 SERIES	7'-0"	3'-0"
D6	INTERIOR BATHROOM DOOR - 800 SERIES	7'-0"	2'-8"
D7	INTERIOR BARN STYLE DOOR (SINGLE PANEL) FULL GLASS - TRANSPARENT GLASS	7'-0"	3'-0"
D8	EXTERIOR DOUBLE DOOR (FULL GLASS FRENCH DOORS) WEATHER TIGHT SEAL	8'-0"	4'-4"
D9	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-10"
D10	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-6"
D11	INTERIOR DOUBLE DOOR - 800 SERIES	7'-0"	5'-0"
D12	EXTERIOR (SINGLE PANEL - FRENCH STYLE) INSULATED SMOKE TIGHT / GAS TIGHT SEAL w/ SELF CLOSER	7'-0"	3'-0"
D13	INTERIOR DOOR - 800 SERIES	7'-0"	2'-8"
D14	OVERHEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER (FROSTED GLASS)	7'-0"	16'-0"
D15	EXTERIOR COMMERCIAL PUSH BAR DOOR (FULL GLASS) w/ SELF CLOSER	7'-0"	3'-0"
D16	DBL 800 SERIES INTERIOR WOOD DOOR	7'-0"	3'-0"

WINDOW SCHEDULE				
TAG	WINDOW SIZE		HEAD HEIGHT	COMMENTS
	WIDTH	HEIGHT		
W1	2'-6"	7'-0"	9'-0"	FIXED
W2	2'-6"	7'-0"	9'-0"	OPERABLE CASEMENT
W3	2'-6"	3'-0"	12'-0"	FIXED
W4	2'-6"	7'-0"	7'-10"	FIXED
W5	2'-6"	7'-0"	7'-10"	FIXED
W6	2'-6"	7'-0"	7'-10"	OPERABLE CASEMENT
W7	2'-0"	6'-0"	8'-0"	OPERABLE CASEMENT
W8	2'-3"	7'-0"	8'-1"	FIXED
W9	3'-0"	7'-0"	7'-6"	FIXED
W10	3'-0"	7'-0"	7'-6"	FIXED
W11	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W12	2'-3"	4'-0"	7'-6"	OPERABLE CASEMENT
W13	3'-6"	7'-6"	8'-1"	FIXED
W14	2'-0"	5'-0"	8'-0"	OPERABLE CASEMENT
W15	3'-0"	3'-1 3/4"	10'-7 3/4"	SPANDREL PANEL
W16	5'-0"	5'-0"		SKYLIGHT

GENERAL NOTES

1. ALL ENGINEERED FLOOR JOISTS, ENGINEERED PARALLEL BEAMS AND APPROVED ENGINEERED ROOF TRUSSES ARE TO BE SUPPLIED & DESIGNED BY WOOD SUPPLIER &/OR TRUSS MANUFACTURER.
2. ALL ROOF SPACE TO BE VENTED TO EXTERIOR BY VENT AREA OF NOT LESS THAN 1/300 SQFT. OF INSULATED CEILING AREA.
3. ALL STAIRS AS PER O.B.C. 9.8.3. (AS REQUIRED).
4. ALL HANDRAILS AS PER O.B.C. 9.8.7. (AS REQUIRED).
5. ALL GUARDS AS PER O.B.C. 9.8.8. (AS REQUIRED).
6. ALL DOORS & WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.8.8. & 9.7.6.
7. ALL FOOTINGS TO BE A MIN. OF 4'-0" (1.2M) BELOW GRADE.
8. ALL FOOTINGS TO BE RESTING ON UNDISTURBED SOIL OR SOLID BEARING ROCK CAPABLE OF RESTING 75PSF LOAD.
9. STEP FOOTINGS AS PER OBC 9.15.3.3.
10. PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1.
11. ROOF VALLEY FLASHING AS PER O.B.C. 9.26.4.
12. JOISTS SUPPORTED BY BEAMS AS PER O.B.C. 9.23.9.2.
13. END BEARING FOR JOISTS AS PER O.B.C. 9.23.9.1. OR AS PER ENGINEERED WOOD FLOOR JOISTS MANUFACTURER (AS APPLICABLE).
14. STAIRS AS PER O.B.C. 9.8.  
MAX. RISE = 7'-7 1/8" (230mm)  
MIN. RUN = 8'-3 3/8" (250mm)  
MIN. HEAD = 9'-1 1/4" (275mm)  
MIN. NOSE = 1'-0" (305mm)  
MIN. HEADROOM = 6'-5" (1950mm)  
GUARDS = 3'-4" (1030mm)  
HANDRAILS = 2'-6" (787mm)  
MIN. WIDTH = 2'-10" (860mm)  
RAILING PICKETS MAX. 4" (100mm) BETWEEN  
2'-7" (800mm) MIN. AND 3'-4" (1030mm) MAX. HEIGHT  
(O.B.C. 9.8.7 RAILINGS & O.B.C. 9.8.8 GUARDS)
15. PROVIDE STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS AS PER O.B.C. 9.5.2.3.
16. CONTRACTOR TO COORDINATE LOCATION OF GAS & ELECTRIC METERS ON SITE WITH THE LOCAL AUTHORITIES HAVING JURISDICTION.
17. CONTRACTOR TO COORDINATE LOCATION OF ALL REQUIRED STRAPPING FOR MECHANICAL DUCTS, RISERS & EQUIPMENT AS REQUIRED. REFERENCE MECHANICAL DRAWINGS (TYPICAL).
18. ENSURE ALL FIRE SEPARATIONS ARE CONTINUOUS.
19. ENSURE ALL POINT LOADS ARE CONTINUOUS TO FOUNDATION WALL SYSTEMS.
20. ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS (TYPICAL).
21. MAIN WASHROOM REQUIRES WATERPROOF FLOOR FINISH - HARDWOOD NOT PERMITTED.
22. PROVIDE PRE-ENG. TALL WALL STUDS IN ALL AREAS OVER 11'-0" IN STUD WALL HEIGHT.
23. ELECTRICAL CONTRACTOR TO PROVIDE ACCOMMODATIONS FOR ELECTRICAL VEHICLE CHARGING SYSTEMS AS PER O.B.C. 9.34.3.4.1.


All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are

NO.	DATE:	REVISION:	BY:
1	03.13.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

ST. DAVID'S  
DEVELOPMENT

1397 YORK ROAD & 242, 246 FOUR MILE CREEK ROAD  
NIAGARA-ON-THE-LAKE, ONTARIO

OWNER'S NAME
OWNER'S SIGNATURE

LORD MAYOR
TOWN CLERK
Date

**A | C | K**  
architects  
www.ackarchitects.com

studio office  
443 eastmaine street  
7 805.984.5245  
P 905.984.5242

architectural office  
100 hwy 104, suite 102  
T 905.462.0880  
F 905.462.0884

46 catharine street  
mississauga, ontario  
l5m 1k2

mississauga office  
mississauga, ontario  
l5m 1k2

SHEET TITLE:

BUILDING C EAST  
ELEVATION

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY:	JP / SD / JV	DWG. No.
CHECKED BY:	MDA	
DATE:	AUG. 24 2018	
SCALE:	AS SHOWN	
PROJECT No.:	2014-176	

A8



GENERAL NOTES

1. ALL ENGINEERED FLOOR JOISTS, ENGINEERED PARALLEL BEAMS AND APPROVED ENGINEERED ROOF TRUSSES ARE TO BE SUPPLIED & DESIGNED BY WOOD SUPPLIER A/C/K TRUSS MANUFACTURER.
2. ALL ROOF SPACE TO BE VENTED TO EXTERIOR BY VENT AREA OF NOT LESS THAN 1/300 SQFT. OF INSULATED CEILING AREA.
3. ALL STAIRS AS PER O.B.C. 9.8.3, (AS REQUIRED).
4. ALL HANDRAILS AS PER O.B.C. 9.8.7, (AS REQUIRED).
5. ALL GUARDS AS PER O.B.C. 9.8.8, (AS REQUIRED).
6. ALL DOORS & WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.8.8 & 9.7.6.
7. ALL FOOTINGS TO BE A MIN. OF 4" (120mm) BELOW GRADE.
8. ALL FOOTINGS TO BE RESTING ON UNDISTURBED SOIL OR SOLID BEARING ROCK CAPABLE OF RESISTING 750kg LOAD.
9. STEP FOOTINGS AS PER OBC 9.15.3.9.
10. PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1.
11. ROOF VALLEY FLASHING AS PER O.B.C. 9.26.4.
12. JOISTS SUPPORTED BY BEAMS AS PER O.B.C. 9.23.9.2.
13. END BEARING FOR JOISTS AS PER O.B.C. 9.23.9.1, OR AS PER ENGINEERED WOOD FLOOR JOISTS MANUFACTURER (AS APPLICABLE).
14. STAIRS AS PER O.B.C. 9.8  
MAX. RISE = 7"78 (200mm)  
MIN. RUN = 8"3/8" (210mm)  
MIN. HEAD = 9"1/4" (235mm)  
MIN. NOSE = 1" (25mm)  
MIN. HEADROOM = 6'5" (1950mm)  
GUARDS = 3'4" (915mm)  
HANDRAILS = 2'6" (810mm)  
MIN. WIDTH = 2'10" (660mm)  
RAILING PICKETS MAX. 4" (100mm) BETWEEN  
2'7" (810mm) MIN. AND 3'4" (1100mm) MAX. HEIGHT  
(O.B.C. 9.8.7 RAILINGS & O.B.C. 9.8.8 GUARDS)
15. PROVIDE STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS AS PER O.B.C. 9.5.2.3.
16. CONTRACTOR TO COORDINATE LOCATION OF GAS & ELECTRIC METERS ON SITE WITH THE LOCAL AUTHORITIES HAVING JURISDICTION.
17. CONTRACTOR TO COORDINATE LOCATION OF ALL REQUIRED STRAPPING FOR MECHANICAL DUCTS, RISERS & EQUIPMENT AS REQUIRED - REFERENCE MECHANICAL DRAWINGS (TYPICAL).
18. ENSURE ALL FIRE SEPARATIONS ARE CONTINUOUS.
19. ENSURE ALL POINT LOADS ARE CONTINUOUS TO FOUNDATION WALL SYSTEMS.
20. ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS (TYPICAL).
21. MAIN WASHROOM REQUIRES WATERPROOF FLOOR FINISH - HARDWOOD NOT PERMITTED.
22. PROVIDE PRE-ENG. TALL WALL STUDS IN ALL AREAS OVER 11'-0" IN STUD WALL HEIGHT.
23. ELECTRICAL CONTRACTOR TO PROVIDE ACCOMMODATIONS FOR ELECTRICAL VEHICLE CHARGING SYSTEMS AS PER O.B.C. 9.34.3.1.

All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are

NO.	DATE:	REVISION:	BY:
1	03.13.2018	SITE PLAN APPROVAL	J.P.

COMMISSION:

ST. DAVID'S  
DEVELOPMENT

1397 YORK ROAD & 242, 246 FOUR MILE CREEK ROAD  
NIAGARA-ON-THE-LAKE, ONTARIO

A|C|K  
architects  
www.ackarchitects.com

studio office  
443 westmoreline rd  
7 805.994.5245  
F 805.994.5246  
40 catharine, niagara  
lakes, ontario  
l1c 4k2

architectural office  
100 hwy 104, suite 102  
7 416.462.0880  
F 416.462.0884  
niagara, ontario  
l1c 4k2

SHEET TITLE:

BUILDING C WEST  
ELEVATION

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY: JP / SD / JV DWG. No.

CHECKED BY: MDA

DATE: AUG. 24 2018

SCALE: AS SHOWN

PROJECT No.: 2014-176

A9

BLDG C - WEST (RIGHT) ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE

DOOR TAG	COMMENTS	HEIGHT	WIDTH
D1	EXTERIOR SINGLE DOOR (FULL GLASS FRENCH DOOR) WEATHER TIGHT SEAL	8'-0"	3'-0"
D2	EXTERIOR 4 PANEL PATIO DOOR (2 MIDDLE SLIDERS) WEATHER TIGHT SEAL	8'-0"	12'-0"
D3	INTERIOR POCKET DOOR - 800 SERIES	6'-8"	3'-0"
D4	INTERIOR CLOSET DOOR - 800 SERIES	7'-0"	2'-0"
D5	INTERIOR DOOR - 800 SERIES	7'-0"	3'-0"
D6	INTERIOR BATHROOM DOOR - 800 SERIES	7'-0"	2'-8"
D7	INTERIOR BARN STYLE DOOR (SINGLE PANEL) FULL GLASS - TRANSPARENT GLASS	7'-0"	3'-0"
D8	EXTERIOR DOUBLE DOOR (FULL GLASS FRENCH DOORS) WEATHER TIGHT SEAL	8'-0"	4'-4"
D9	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-10"
D10	EXTERIOR DOOR (SINGLE PANEL - FRENCH STYLE) WEATHER / GAS TIGHT SEAL	8'-0"	1'-6"
D11	INTERIOR DOUBLE DOOR - 800 SERIES	7'-0"	5'-0"
D12	EXTERIOR (SINGLE PANEL - FRENCH STYLE) INSULATED SMOKE TIGHT / GAS TIGHT SEAL w/ SELF CLOSER	7'-0"	3'-0"
D13	INTERIOR DOOR - 800 SERIES	7'-0"	2'-8"
D14	OVER-HEAD GARAGE DOOR w/ WEATHER TIGHT SEAL & POWER DOOR OPENER (FOSTED GLASS)	7'-0"	16'-0"
D15	EXTERIOR COMMERCIAL PUSH BAR DOOR (FULL GLASS) w/ SELF CLOSER	7'-0"	3'-0"
D16	DBL. 800 SERIES INTERIOR WOOD DOOR	7'-0"	3'-0"

WINDOW SCHEDULE

TAG	WINDOW SIZE WIDTH HEIGHT	HEAD HEIGHT	COMMENTS
W1	2'-6" 7'-0"	9'-0"	FIXED
W2	2'-6" 7'-0"	9'-0"	OPERABLE CASEMENT
W3	2'-6" 3'-0"	12'-0"	FIXED
W4	2'-6" 7'-0"	7'-10"	FIXED
W5	2'-6" 7'-0"	7'-10"	FIXED
W6	2'-6" 7'-0"	7'-10"	OPERABLE CASEMENT
W7	2'-0" 6'-0"	8'-0"	OPERABLE CASEMENT
W8	2'-3" 7'-0"	8'-1"	FIXED
W9	3'-0" 7'-0"	7'-6"	FIXED
W10	3'-0" 7'-0"	7'-6"	FIXED
W11	2'-3" 4'-0"	7'-6"	OPERABLE CASEMENT
W12	2'-3" 4'-0"	7'-6"	OPERABLE CASEMENT
W13	3'-6" 7'-6"	8'-1"	FIXED
W14	2'-0" 5'-0"	8'-0"	OPERABLE CASEMENT
W15	3'-0" 3'-1 3/4"	10'-7 3/4"	SPANDREL PANEL
W16	5'-0" 5'-0"		SKYLIGHT

January 10, 2019

Jesse Auspitz, MCIP, RPP  
Planner II  
Town of Niagara-On-The-Lake  
1593 Four Mile Creek Road, P.O. Box 100  
Virgil, ON L0S 1T0

**Submission for Site Plan Application- 4<sup>th</sup> Submission**

Proposal: St. David's Mixed-Use Development  
Location: 242-246 Four Mile Creek Road (RR100) and 1397 York Road (RR 81)  
In the Town of Niagara-on-the-Lake  
Our File: SP-18-041, CD-18-051  
Town File: SPA-08-2018, 26CD-18-18-02

---

Regional Planning and Development Services staff has reviewed the following updated documents and plans which were circulated for the above-noted applications which are to facilitate a development at the above mentioned address in the Town of Niagara-on-the-Lake:

- Proposed Site Plan (SP1) prepared by ACK Architects revised October 25, 2018;
- Site Servicing Grading Plan (1481-SSGP) prepared by Upper Canada Consultants revised December 17, 2018;
- Stormwater Management Plan prepared by Upper Canada Consultants dated December 12, 2018;

The following comments are provided from a Regional and Provincial perspective to assist the Town in considering these applications and are supplementary to the previous Region comments provided in response to previous submissions. Updated Conditions have been attached to the Appendix to be included in the Site Plan Agreement.

**REGIONAL ROAD**

See previous Region comments (letter dated May 16, 2018). The related Conditions are included in the Appendix.

**SITE ACCESS**

See previous Region comments (letter dated December 6, 2018).

**REGIONAL PERMIT REQUIREMENTS**

See previous Region comments (letter dated May 16, 2018). The related Conditions are included in the Appendix.

## **SERVICING**

Region staff has reviewed the revised Site Servicing Plan prepared by Upper Canada Consultants (dated 2018-12-17) and note that the previous requirement to add a servicing note listing the necessary Regional Water staff has been addressed. Please note, however, that the position of Manager Water Maintenance has recently changed, the final servicing plan should be revised to list Adam Allcock, Manager Water Maintenance, who should be contacted at 905-658-8976 prior to crossing the Regional Watermain to ensure the method for supporting the watermain is acceptable.

## **STORMWATER MANAGEMENT**

The Niagara Region has reviewed the 'Stormwater Management Plan, St. David's Commercial, 1397 York Road, 242 & 246 Four Mile Creek Road, NOTL' (dated December 12, 2018) and the associated engineering drawings (revised 2018-12-17) all by Upper Canada Consultants. Based on our review, the Niagara Region offers the following comments:

- 1) The Niagara Region will require that all stormwater runoff be captured and treated to a Normal standard prior to discharge from the site.
  - a. The Niagara Region has no objection to the installation of the proposed Hydroworks HG4 oil/grit separator in order to achieve this criterion.
- 2) The Niagara Region will require that all post development peak stormwater flows be attenuated to pre-development levels (for up to and including the 100 year design storm event) prior to discharge from the site.
  - a. The Niagara Region is satisfied that the proposed utilization of super pipe and parking lot storage is adequate to achieve this criterion.
- 3) The Niagara Region has no objection to the submitted Stormwater Management Maintenance Manual.
- 4) The Niagara Region has no objection to the proposed grading, storm servicing, and stormwater management drawings.
- 5) The Niagara Region will require that the location of construction sediment controls be indicated on the drawings such that muddy water is prevented from discharging from the site.

## **URBAN DESIGN**

See previous Region comments (letter dated May 16, 2018).

## **WASTE COLLECTION**

Niagara Region provides curbside waste and recycling collection for developments that meet the requirements of Niagara Region's Waste Collection Policy. The subject property is eligible to receive Regional curbside waste and recycling collection provided that the owners bring the waste and recycling to the curbside on the designated pick up day, and that the following limits are not exceeded:

### **Buildings B & C: Residential Units**

- No limit blue/grey containers;
- No limit green containers; and,
- 1 garbage container per unit



**Building A: Mixed Use**

- No limit blue/grey containers;
- No limit green containers; and,
- 6 garbage containers

**Building D: Existing Commercial**

- No limit blue/grey containers;
- No limit green containers; and,
- 4 garbage containers

Region staff has reviewed the Site Plan (SP1) prepared by Upper Canada Consultants (dated October 25, 2018) and note that in order for the owners/tenants of the subject property to receive Region curbside waste collection, as proposed on the submitted Site Plan, waste and recycling containers for Buildings B & C must be brought to the curbside of Four Mile Creek Road (Regional Road 100) and containers for Buildings A & D must be brought to the curbside of York Road (Regional Road 81), as required on the designated pick-up day. The Conditions identifying the waste collection requirements for the site has been included in the Appendix.

**REGIONAL BICYCLE NETWORK**

See previous Region comments (letter dated May 16, 2018).

**PROTECTION OF SURVEY EVIDENCE**

See previous Region comments (letter dated May 16, 2018). The related Condition has been included in the Appendix.

**ARCHAEOLOGICAL**

See previous Region comments (letter dated December 6, 2018). The related Conditions have been included in the Appendix.

**NOISE**

See previous Region comments (letter dated December 6, 2018). The related Condition has been included in the Appendix.

**CONCLUSION**

Based on the analysis and comments above, Regional staff offers no objection to the revised application, subject to the Conditions outlined in the Appendix. If you have any questions or wish to discuss these comments please contact the undersigned at extension 3268, or Susan Dunsmore, Manager Development Engineering, at extension 3661.

Best Regards,

A handwritten signature in blue ink, appearing to read "U. Ayse", is located below the "Best Regards," text.

Robert Alguire  
Development Approvals Technician  
Niagara Region

Attention: Appendix- Regional Conditions for Site Plan Approval

Cc.

Steve Miller, Stormwater Management Engineer, Niagara Region  
Adam Allcock, Manager Water Maintenance- Area 3, Niagara Region  
Adrian Rittner, Manager Water Operations- Area 3, Niagara Region

**APPENDIX**  
**Regional Conditions for Site Plan Approval**  
**242-246 Four Mile Creek Road**  
**Niagara-on-the-Lake**

---

1. That the following clauses be included in the Site Plan Agreement:
  - i. That the owner dedicate 3.05 metre road widening to the Regional Municipality of Niagara along the frontage of Regional Road 81 (York Road), prior to the issuance of a building permit, to the satisfaction of Niagara Region.
  - ii. That the owner dedicate 2.0 metre road widening to the Regional Municipality of Niagara along the frontage of Regional Road 81 (York Road), prior to the issuance of a building permit, to the satisfaction of Niagara Region.
  - iii. *“That prior to any construction taking place within the Regional Road Allowance including the alteration of the existing access points the owner shall obtain a Construction Encroachment Permit and Regional Entrance Permit.”*
  - iv. *“That the owner shall not be permitted additional access to the subject property from Regional Road 81 or Regional Road 100 road allowances except that which was approved on Site Plan (SP1) prepared by ACK Architects (dated October 25, 2018) or subsequently approved versions by the Region.”*
  - v. *“That the owner obtain a certificate from an Ontario Land Surveyor stating that all existing and new survey evidence is in place at the completion of the development.”*
  - vi. *“Should deeply buried archaeological remains/resources be found on the property during construction activities, all activities impacting archaeological resources must cease immediately, notify the Archaeology Programs Unit of the Ontario Ministry of Tourism, Culture and Sport (416-212-8886) and a licensed archaeologist is required to carry out an archaeological assessment in accordance with the Ontario Heritage Act and the Standards and Guidelines for Consultant Archaeologists.”*
  - vii. *“In the event that human remains are encountered during construction, all activities must cease immediately and the local police as well as the Cemeteries Regulation Unit of the Ministry of Government and Consumer Services in Toronto (416-326-8800) must be contacted. In situations where human remains are associated with archaeological resources, MTCS should also be notified to ensure that the site is not subject to unlicensed alterations which would be a contravention of the Ontario Heritage Act.”*
2. The following clauses be included in the Site Plan Agreement and inserted into all offers and agreements of Purchase and Sale or Lease for each of the affected dwelling units:
  - a. *“Purchasers/tenants are advised that sound levels from increasing road traffic on Four Mile Creek Road (Regional Road 100) and York Road (Regional Road 81) may be audible at times within the dwelling and in outdoor areas.”*

## Appendix C - Agency Comments

- b. "Owners/Purchasers/Tenants of townhouse units 1-11 are advised that in order to accommodate Regional Waste Collection Service they will be required to bring their waste/recycling containers to the curbside of Four Mile Creek Road for collection."
- c. "Owners/Purchasers/Tenants of the mixed-use building, identified as Building A, are advised that in order to accommodate Regional Waste Collection Service they will be required to bring their waste/recycling containers to the curbside of York Road for collection."

December 6, 2018

Jesse Auspitz, MCIP, RPP  
Planner II  
Town of Niagara-On-The-Lake  
1593 Four Mile Creek Road, P.O. Box 100  
Virgil, ON L0S 1T0

**Submission for Site Plan Application- 3<sup>rd</sup> Submission**

Proposal: Mixed Use Plaza- 11 Townhouses, 4 Apartment Units above Commercial Space  
Location: 242-246 Four Mile Creek Road (RR100) and 1397 York Road (RR 81)  
In the Town of Niagara-on-the-Lake  
Our File: SP-18-041  
CD-18-051  
City File: SPA-08-2018  
26CD-18-18-02

---

Regional Planning and Development Services staff has reviewed the following documents and plans which were circulated for the above-noted applications which are to facilitate a development at the above mentioned address in the Town of Niagara-on-the-Lake:

- Proposed Site Plan (SP1) prepared by ACK Architects revised October 25, 2018;
- Proposed Basement Plan Building B & C (SP2) prepared by ACK Architects revised October 25, 2018;
- Proposed Basement Plan Building B & C (SP3) prepared by ACK Architects revised October 25, 2018;
- Site Servicing Grading Plan (1481-SSGP) prepared by Upper Canada Consultants revised October 30, 2018;
- Landscape Plan (L1) prepared by James McWilliam Landscape Architect revised August 28, 2018.

The above-noted documents were received by Regional staff on November 16, 2018. The Region previously provided comments (dated May 16, 2018) in response to the first application submission as well as providing email correspondence (dated October 30, 2018) approving of Site Plan revisions. The applicant is proposing to develop 11 Townhouse Units as well as a mixed use building which consists of Commercial space with 4 residential units above. The development site consists of municipal addresses 242-246 Four Mile Creek Road as well as 1394 York Road. All previous conditions of site plan still apply, however, only new comments or revisions are included in this letter and previous/revised conditions are attached in the Appendix.

The following comments are provided from a Regional and Provincial perspective to assist the Town in considering these applications.

## **REGIONAL ROAD**

See previous Region comments (letter dated May 16, 2018). The related Conditions are included in the Appendix.

## **SITE ACCESS**

Region staff has reviewed the revised plans submitted for approval and note that the porch along Four Mile Creek Road (Regional Road 100) is to be removed in order to improve the site line from the adjacent site access. Region staff note that previous comments requiring a revised TIS are no longer applicable as the access point from Four Mile Creek Road is to be a right-out only, eliminating the need for the left turn lane on Four Mile Creek Road and the associated revised TIS.

## **REGIONAL PERMIT REQUIREMENTS**

See previous Region comments (letter dated May 16, 2018). The related Conditions are included in the Appendix.

## **SERVICING**

See previous Region comments (letter dated May 16, 2018).

## **STORMWATER MANAGEMENT**

See previous Region comments (letter dated May 16, 2018). Please note that a revised Stormwater Management brief is still required prior to Site Plan Approval which addresses the need to have the system attenuate post development flows to pre development levels for up to and including the 100 year storm event. The report should also include a maintenance section.

## **URBAN DESIGN**

See previous Region comments (letter dated May 16, 2018).

## **WASTE COLLECTION**

See previous Region comments (letter dated May 16, 2018). Please note that there is still no indication on any of the submitted plans as to the developers waste collection intentions therefore Condition's addressing private waste collection as well as requirements for Regional Curbside collection are included in the Appendix.

## **REGIONAL BICYCLE NETWORK**

See previous Region comments (letter dated May 16, 2018).

## **PROTECTION OF SURVEY EVIDENCE**

See previous Region comments (letter dated May 16, 2018). The related Condition has been included in the Appendix.



## ARCHAEOLOGICAL

Through related Official Plan and Zoning By-law Amendment applications, requirements for an archaeological assessment and acknowledgment letter from the Province were addressed. Regional staff requests a standard writing clause for the potential future discovery of deeply buried resources at the construction stage. The related Conditions have been included in the Appendix.

## NOISE

Regional staff require that a warning clause would be included in the site plan agreement to advise residents of the potential traffic noise impacts from Regional Road 100 (Four Mile Creek Road) and Regional Road 81 (York Road). A Condition has been included in the Appendix.

## CONCLUSION

Based on the analysis and comments above, Regional staff offers no objection to the revised application, subject to the Conditions outlined in the Appendix, and that the following drawings and information is forwarded for Regional review and approval prior to the approval of the Site Plan and execution of the Site Plan Agreement.

- Revised site plan drawings showing the following:
  - Profile of the crossing of the Regional watermain on York Road with the new connection to the sanitary sewer and the extent of the construction for the construction since the sanitary sewer main is at a significant depth;
  - A note added to the servicing plan which provides contact information for Regional Water and Wastewater staff who are to be contacted 72 hours prior to any construction taking place near the Region infrastructure;
- Revised Stormwater Management Brief be submitted for review and approval to address flows for the 100 year storm;
- Clarification as to how waste/recycling will be collected for the site and locations for collection area to be identified.

If you have any questions or wish to discuss these comments please contact the undersigned at extension 3268, or Susan Dunsmore, Manager Development Engineering, at extension 3661.

Best Regards,



Robert Alguire  
Development Approvals Technician  
Niagara Region

Attention: Appendix- Regional Conditions for Site Plan Approval

Cc. Susan Dunsmore, P.Eng., Manager Development Engineering, Niagara Region  
Elissa Quintanilla, Development Planner, Niagara Region  
Vanessa Aykroyd, OALA, CSLA, Landscape Architect, Niagara Region

**APPENDIX**  
**Regional Conditions for Site Plan Approval**  
**242-246 Four Mile Creek Road\**  
**Niagara-on-the-Lake**

---

1. That the following clauses be included in the Site Plan Agreement:
  - i. That the owner dedicate 3.05 metre road widening to the Regional Municipality of Niagara along the frontage of Regional Road 81 (York Road), prior to the issuance of a building permit, to the satisfaction of Niagara Region.
  - ii. That the owner dedicate 2.0 metre road widening to the Regional Municipality of Niagara along the frontage of Regional Road 81 (York Road), prior to the issuance of a building permit, to the satisfaction of Niagara Region.
  - iii. *"That prior to any construction taking place within the Regional Road Allowance including the alteration of the existing access points the owner shall obtain a Construction Encroachment Permit and Regional Entrance Permit."*
  - iv. *"That the owner shall not be permitted additional access to the subject property from Regional Road 81 or Regional Road 100 road allowances except that which was approved on Site Plan (SP1) prepared by ACK Architects (dated October 25, 2018) or subsequently approved versions by the Region."*
  - v. *"That the owner obtain a certificate from an Ontario Land Surveyor stating that all existing and new survey evidence is in place at the completion of the development."*
  - vi. *"Should deeply buried archaeological remains/resources be found on the property during construction activities, all activities impacting archaeological resources must cease immediately, notify the Archaeology Programs Unit of the Ontario Ministry of Tourism, Culture and Sport (416-212-8886) and a licensed archaeologist is required to carry out an archaeological assessment in accordance with the Ontario Heritage Act and the Standards and Guidelines for Consultant Archaeologists."*
  - vii. *"In the event that human remains are encountered during construction, all activities must cease immediately and the local police as well as the Cemeteries Regulation Unit of the Ministry of Government and Consumer Services in Toronto (416-326-8800) must be contacted. In situations where human remains are associated with archaeological resources, MTCS should also be notified to ensure that the site is not subject to unlicensed alterations which would be a contravention of the Ontario Heritage Act."*
2. The following clauses be included in the Site Plan Agreement and inserted into all offers and agreements of Purchase and Sale or Lease for each of the affected dwelling units:
  - a. *"Purchasers/tenants are advised that sound levels from increasing road traffic on Four Mile Creek Road (Regional Road 100) and York Road (Regional Road 81) may be audible at times within the dwelling and in outdoor areas."*

## Appendix C - Agency Comments

- b. *“Owners/Purchasers/Tenants are advised that the approved Site Plan does not meet Niagara Region’s Corporate Policy for Waste Collection and this service will be provided by the Owner through a private contractor and not the Region.”*

Or;

- c. “Owners/Purchasers/Tenants of townhouse units 1-11 are advised that in order to accommodate Regional Waste Collection Service they will be required to bring their waste/recycling containers to the curbside of Four Mile Creek Road for collection.”
- d. “Owners/Purchasers/Tenants of the mixed-use building, identified as Building A, are advised that in order to accommodate Regional Waste Collection Service they will be required to bring their waste/recycling containers to the curbside of York Road for collection.”

---

**VIA E-MAIL ONLY**

May 16, 2018

Jesse Auspitz, MCIP, RPP  
Planner II  
Town of Niagara-on-the-Lake  
1593 Four Mile Creek Road,  
P.O. Box 100 Virgil  
ON, L0S 1T0

**Application for Site Plan**

Proposal: Mixed use plaza – 11 townhouses, 4 apartments above commercial space  
Location: 242-246 Four Mile Creek Road (RR 100) and 1397 York Road (RR 81)  
In the Town of Niagara-on-the-Lake  
Our File: SP-18-041  
Town File: SPA-08-2018

---

Regional Planning and Development Services staff have completed a review of the following documents and plans for the mixed used plaza at 242-246 Four Mile Creek Road (RR 100) and 1397 York Road (RR81) in the Town of Niagara-on-the-Lake:

- Site Plan & Grading Plan, DWG No. 1481-SSGP by Upper Canada Consultants dated March 19, 2018;
- Storm Drainage Area Plan, DWG No. 1481-STMDA by Upper Canada Consultants dated March 19, 2018;
- Functional Servicing Report by Upper Canada Consultants dated March 16, 2018;
- Stormwater Management Plan St.David's Commercial by Upper Canada Consultants dated March 16, 2018;
- Landscape Plan, Sheet No. L1 by James McWilliam dated February, 2018.
- Proposed Site Plan, SPI by ACK dated March 13, 2018; and,
- Proposed Basement Plan Building B&C, A1 by ACK dated March 13, 2018.

The following comments are provided from a Regional and Provincial perspective to assist the Town in reviewing the Site Plan Application.

**I. REGIONAL ROAD**

The subject property has frontage along two Regional Road: York Road (RR81) and Four Mile Creek Road (RR100). Both of these road allowances are undersized and widenings will be required along each frontage. The Regional Official plan has the designated road allowance widths for York Road (RR81) as 26.2 metres, therefore the Region requires an approximate 3.05 metre road widening to be determined by legal survey in order to achieve a 13.1 metre distance from the centerline of the street. Four Mile Creek Road (RR100) requires a 20.1 metre road allowance in the Regional Official plan and therefore a

2.0 metre road widening to be determined by legal survey is required in order to achieve a 10.05 metre distance from the centerline of Four Mile Creek Road.

Therefore, the applicant is required to gratuitously grant the following widening to the Region:

- A 3.05 metre widening across the frontage along York Road (RR81) of the subject property. This is order to achieve 13.1 metres from the original centerline of this road section.
- A 2.0 metre widening across the frontage along Four Mile Creek Road (RR100) of the subject property. This is in order to achieve 10.05 metres from the original centerline of this road section.

The actual width of the required widenings must be confirmed by an Ontario Land Surveyor. This is only an approximation of the requirement.

The requested widenings are to be conveyed free and clear of any mortgages, liens or other encumbrances, and are to be described by Reference Plan. The widening portion of the Plan will be the responsibility of the owner to order. The cost of providing this plan will be the full responsibility of the applicant. The applicant will arrange for the land surveyor for the property to submit the preliminary undeposited survey plan along with all related documents to Regional Surveys staff for approval. Regional Surveys staff will advise the land surveyor of any required revisions to the plan. Once the plan is deposited and the transfer registered, the Region will clear the applicable condition.

Should the applicant have any questions, please direct them to contact the individuals listed below:

Norma Price, Law Clerk, 905-980-6000 extension 3339. E-mail [norma.price@niagararegion.ca](mailto:norma.price@niagararegion.ca)  
(Inquiries -specific to the transfer of property to the Region)

Normans Taurins, Manager, Surveys & Property Information, 905-980-6000 extension 3325, E-mail: [normans.taurins@niagararegion.ca](mailto:normans.taurins@niagararegion.ca)

A condition has been added to **Appendix I** to address the road widening requirements.

## 2. **SITE ACCESS**

In the previous Official Plan and Zoning Plan amendment applications Regional Transportation Staff have reviewed a Traffic Impact Study & Parking Study for the site. The TIS & Parking Study had indicated that left turn lanes were warranted on Four Mile Creek Road (RR 100) at the access to the underground parking ramp. The Regional staff still require that a functional design for the left turn lane and cost estimates be submitted for review and approval prior to site plan approval. The developer will be required to enter into a legal agreement with the Region for this work and deposit the required letter of credit to complete the work. The Region is currently revising the intersection of Four Mile Creek Road and York Road to determine if intersection improvements are required.

The Region's Transportation group have reviewed the proposed new site accesses and have the following comments which were also included in our previous comments.

### **York Road Access:**

The York Road access have been reviewed and there are no further comments on this entrance that is proposed.

**Northern Four Mile Creek Access:**

As discussed at the preconsultation meetings with the applicant there was to only be one access point on Four Mile Creek. The new site plans show that the access will be blocked by one bollard in the middle of an access. We have confirmed with Town staff that the Town's Fire Department is requiring a drive thru access to the site. We have reviewed the proposal and have worked with our landscape architect to come up with a solution that is more acceptable to the Region. The proposal is to construct a 3.0m concrete path from the existing sidewalk on Four Mile Creek Road to the end of the parking area with removable bollards for the drive thru emergency access point. The existing curb cuts in the Four Mile Creek Road would have to be modified to the minimum distance required for the emergency vehicle turning radius to leave the site. The sketch shows a section of the paved area extending slightly past the last parking spot where vehicles can maneuver out of the last parking spot, and the last unit still has an access to their front entrance. This would ensure that the access would not operate for everyday vehicular traffic but would provide access for pedestrians and cyclists and when required emergency vehicles. Please see the attached sketch in **Appendix II**.

**Southern Four Mile Creek Access to underground parking area:**

The applicant has provided the slopes that are being proposed on the ramp to the underground parking area. We have reviewed these slopes with the TAC manual guideline. As discussed in the preconsultation meeting and in earlier documentation the sightlines with regard to the road and pedestrian traffic with the required slopes are a concern. In order to provide an adequate area for a car we would ask that the driveway slopes be modified to meet the following requirements:

- Slope on Regional ROW be a maximum of 4% (total length should be approximately 5 metres)
- Slope beyond the 5 metres can increase in accordance with either TAC guidelines or Town standards for private driveways

It is recommended that signage be posted warning exiting vehicles of the existing sidewalk and potential pedestrian traffic.

We would also like to note that the current informal parking on Four Mile Creek Road between York Road and Warner Road will have to be eliminated to assist in provide better sight lines and allow for future bike lanes on Four Mile Creek Road, as indicated in Region's Bikeways Master Plan.

All existing entrances being removed will require that on Four Mile Creek Road the barrier curb will be reinstated along with the sidewalk being replaced to meet the barrier curb. Proposed entrance on Four Mile Creek Road will require that the sidewalk continues thru the entrance and curb line is maintained thru the entrance with mountable curb. Details for the reinstatement of the existing driveways needs to be added to the drawings.

The existing entrance on York Road is noted as to be restored with grass boulevard and since the existing curb is already mountable curb there is no requirement to reinstate.

**3. REGIONAL PERMIT REQUIREMENTS**

Prior to any construction or entrance construction taking place within the Regional Road allowance, a Regional Construction and Entrance Construction Permit must be obtained from the Transportation Services Division, Public Works Department. Applications can be made through the Region's website using the following link:



<http://niagararegion.ca/living/roads/permits/default.aspx>

Based on review of Site Plan it appears there is no private sign indicated for the development if there is any signage within 20 metres of the centerline of either of the Regional Roads, a Regional Sign Permit will be required. Sign permits can be applied for through the Regional website noted below.

<http://niagararegion.ca/living/roads/permits/default.aspx>

For all buildings, furniture and proposed landscaping (other than boulevard trees) that are going to be encroaching into the Regional Road allowances the owner will be required to enter into an encroachment agreement with the Region. A condition has been included in **Appendix I** to address this requirement.

#### 4. **SERVICING (Watermain and Sanitary)**

The Region has two trunk watermain in the area, there is a 400 mm D DIH on York Road and 500 mm D AC on Four Mile Creek Road. Since there is local watermain available connections to the Regional mains are not permitted.

The Region also has a 200 mm D PVC forcemain on Four Mile Creek Road.

Regional infrastructure should not be disturbed during the servicing of the proposed site. The current servicing plans show that the only proposed crossing of the Regional infrastructure is on York Road to connect the proposed sanitary sewer.

Regional staff would like to see a profile of this crossing and the extent of the work for the sanitary sewer connection since at this location the existing Town main is at a significant depth. Details of how the watermain is going to be supported needs to be provided for review and approval by Regional Water and Wastewater staff.

Reinstatement of trenches on the Regional road will be addressed in the construction encroachment permit.

Due to the close proximity of the Regional 200mm D sanitary forcemain and the Regional 500 mm D watermain, Niagara Region requires that John Brunet, Water Operations Manager, Mark Airhardt, Manager WWW System Maintenance, Doug Johnson, Area I WW Operations Manager, and Robert Daw, Manager WWW System Maintenance are contacted 72 hours prior to any construction near the Regional infrastructure and invited to the preconstruction meeting. John Brunet and Mark Airhardt can be reached at 905 295 4831 and Doug Johnson and Robert Daw can be reached at 905 935 8315. A note should be added to the drawing to advise the contractor of the same requirement.

#### 5. **STORMWATER MANAGEMENT**

Regional staff have reviewed the submitted Stormwater Management Plan completed by Upper Canada Consultants (dated March 16, 2018). The report recommends implementation of quality control through an oil grit separator to Normal (70% total suspended solids removal) standards. The SWM plan only contains the flows up to the 5 year storm. The Region has no records of Storm sewers on York Road, we would request that Town staff confirm if they have any records as to the design of this system before the proposed SWM and storm sewer system is approved. As well since the report is indicating that the Regional Road will

be the overland flow route the requirement for SWM for Regional Road is to have the system address post to pre flow for up to the 100 year storm. The report should include a maintenance section as well.

A condition has been added to include the final Stormwater management system and a request for revised brief is required prior to site plan approval.

## 6. URBAN DESIGN

The Region's Urban Design staff have reviewed the submitted plans and have the following comments. These comments are intended to assist the Town and the Developer achieve high quality landscape and exterior spaces that contribute to the beauty of the community, and are enjoyable for the residents or occupants of the buildings.

The comments are broken into two sections: (1) Comments regarding the Regional ROW, which should be addressed in a resubmission; and (2) Observations and Suggestions based on experience that will increase the resiliency and beauty of the development, and reduce maintenance costs in the future.

### Regional ROW comments:

Comments to be addressed regarding planting and treatment of the Regional ROW:

- Seven trees are proposed in the Regional ROW - along York Road frontage:
  - Three Honey Locust – Species OK, concern for size of planting bed – should be larger – dimensions should provide for at least 23m<sup>3</sup> of soil volume for these trees at 90cm planting soil depth. Please increase size of planters, or specify CU Structural Soil under pavers surrounding planters to provide for the 23m<sup>3</sup> of soil volume per tree (soil volume can be 15m<sup>3</sup> per tree if in shared beds)
  - One Little Leaf Linden (Is there a specific variety being chosen? Please clarify on plan)
- Along Four Mile Creek Road frontage:
  - Two Red Maple – Species OK
  - One Serviceberry – There may be a Japanese maple planted in this location, along with other shrubs along the side of the building. The landscape plan indicates sod and the serviceberry, but no mention of removal of any current material and the remainder of this area is not changing (save the fence). Please clarify via response or on plan.
- Tree planting detail should show wooden stakes instead of metal, as well as arbortie instead of wire ties with hose. Please update spec and show on plan.

Along the Four Mile Creek entrance, we'd also prefer a pedestrian vs vehicular access to the site (including a full restoration of the sidewalk to barrier curb), unless access to/from the site is required by the fire department here. If so, there are different design options, such as a heavy duty concrete sidewalk, with several removable bollards and a mountable curb vs depressed sidewalk. Please see the attached **Appendix II**.

### Observations and Suggestions:

Observations and suggestions on site :

- NOTL Hydro requires a setback from transformers of at least 1m on three sides, and 3m on the entrance side. Please ensure that the proposed planting is outside of these setbacks.

Western Property Line:

- The existing cedar hedge along the west property line of the site is quite substantial, and hangs over the property line. Any plantings under this hedge will be in full shade from noon

onwards. It is suggested that the cedars are used to “fill in” areas only where needed. The current number of cedars proposed is not necessary, if at all (especially with a new fence being installed.) The winter creeper proposed is a shade tolerant ground cover and should do well.

- Also of concern would be the amount of soil disturbance in the critical root zone of the existing hedge that may cause damage. Damage can be limited by adding a lift of no more than 6” of topsoil to provide planting space for the winter creeper without damaging the root zone of the existing hedge.
- The fence along this area should be solid board on board to prevent light from headlights trespassing onto the neighbouring residential property at night.
- There is a serviceberry at the corner of Unit 1 and the last parking space on the west side. Multi-stemmed Serviceberry are low branching, and have a mature spread of 4-5m. This may result in conflicts with the building and the parking space as the tree matures. A tree form serviceberry would be suggested in this area (ie. *Amelanchier laevis* ‘Cumulus’)
- The fronts of the residential units have extremely limited planting spaces (approximately 1m width). These planting areas are also in full shade, so plants in this area must be full shade tolerant, as well as narrow in spread to avoid a maintenance nuisance in the future. Taller, slender species such as Nova Japanese Yew would fit the space with minimal pruning requirements, and provide vertical interest near the entryways that was trying to be achieved with the proposed Diablo Ninebark. A smaller yew (such as Ward’s Yew) can provide the same low hedging effect as the Winter Gem Boxwood, or possibly a sedge (ie. *Carex glauca*) if a grass type of foliage is desired. These species fit the space with minimal maintenance, and are full shade tolerant.
- The trees proposed along the rear of the residential units are fine species wise, however, it is unclear how they are going to survive in their proposed location. Since this area is on top of the slab for the UG parking, a minimum of 90cm planting depth would be required. The section showing the topsoil in this area (Details Sheet A1) shows a minimal amount of soil (possibly 4”?) They will not survive the currently proposed condition. It is suggested that a planting detail on slab is included in the details for the installation contractor to refer to – possibly planters along the rear edge of the slab?
- Along the rear yards where the sod is meeting the opening for the ramp to the U/G parking – is there a railing here? There is a railing shown along the patios of units 10 & 11 on the section (Details Sheet A1), but no actual detail of the railing, nor is it shown on plan where the yard and garage opening meet.
- Is there a security gate at the bottom of the ramp to the UG? If so, is an acoustical fence required along the opening between the ramp and the adjacent residential property? If so, please show details for acoustical fencing (possible board on board solid cedar, instead of gapped like currently proposed?)
- Along the southern property line there seems to be quite a number of shared trees, as defined by Section 10 of the Forestry Act of Ontario. In order to be compliant with the Act, these trees should be surveyed by an OLS to determine ownership and, if trees are shared, the neighbouring property owner must be consulted and provide permission (in writing, with copy to the Town) to allow the developer to damage or remove these trees. Removal is imminent with this proposal due to proximity of UG parking structure.
- It is suggested that the parking lot drive aisle along the residential units is excessively wide (approximately 10m?). It is suggested that the parking is straightened out along a narrower drive aisle, and additional landscaping and trees provided in the area north of the parking lot, in order to screen the rear of the commercial building on the corner. Permeable surface with planting is more desirable than unnecessary asphalt.

## 7. WASTE COLLECTION

In order to qualify for Regional Waste Collection services the property must participate in both the waste collection and recycling collection at the curb.

We have discussed this property with our Waste Management Staff and have provided the option for Regional Collection.

If the applicant wishes to be eligible for Regional Waste Collection services, the property is eligible to receive Regional curbside collection for waste and recycling.

The two buildings on the site with commercial in them would be required to place their containers at the entrance on York Road. The limits for containers are noted below:

- Blue/Grey: no limit
- Green: no limit
- Garbage: 4 Containers

The 11 townhouse units would be required to place their containers, clearly labeled at the entrance on Four Mile Creek Road. The limits for containers are noted below:

- Blue/Grey: no limit
- Green: no limit
- Garbage: 1 Container per unit

There is no indication on any of the plans submitted as to the developers waste collection intentions therefore currently we have added a condition to **Appendix I** to address private waste collection concerns. We would ask that the owner provide the Region as to the intentions for waste/recycling collection for this site.

## 8. REGIONAL BICYCLE NETWORK

Both York Road and Four Mile Creek Road are designated as part of the Regional Niagara Bicycling Network. If the bicycle route is currently not established and identified with signage, it is the intent of the Region to make provisions for doing so when an appropriate opportunity arises. This may involve additional pavement width, elimination of on-street parking, etc.

## 9. PROTECTION OF SURVEY EVIDENCE

Survey Evidence adjacent to Regional road allowances is not to be damaged or removed during the development of the property. We would request that any agreements entered into for this development include a clause that requires the owner to obtain a certificate from an Ontario Land Surveyor stating that all existing and new evidence is in place at the completion of said development.

## 10. ARCHEOLOGICAL

Through the related Official Plan and Zoning By-law Amendment applications, requirements for an archaeological assessment and acknowledgement letter from the Province were addressed. The Region requests a standard warning clause for the potential future discovery of deeply buried resources at the construction stage. A condition has been included in **Appendix I**.

## II. TRAFFIC NOISE IMPACTS

Traffic noise from Regional Road 100 (Four Mile Creek Road) and Regional Road 81 (York Road) has the potential to impact the proposed residential uses within the development. Regional staff previously accepted that a warning clause would be included in the future site plan agreement to advise residents of these potential impacts. A condition is included in **Appendix I**.

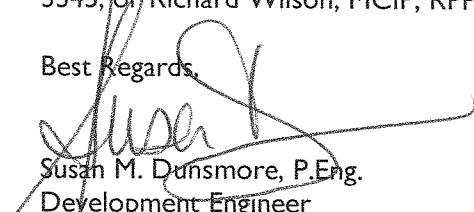
## CONCLUSION

Based on the analysis and comments above, Regional staff offers no objection to the Site Plan application, subject to the Conditions outlined in Appendix I, and that the following drawings and information is forwarded for Regional review and approval prior to approval of the site plan and execution of the Site Plan Agreement.

- Revised site plan drawings showing the following:
  - revised emergency/pedestrian access on Four Mile Creek – suggested solution is attached in **Appendix II**
  - revised slope for underground parking on Four Mile Creek Road ROW with reduced slope to 4%
  - plan for the addition of the left turn lane on Four Mile Creek Road at the underground access point along with cost estimates for the review and approval by the Region
  - profile of the crossing of the Regional watermain on York Road with the new connection to the sanitary sewer and the extent of the construction for the construction since the sanitary sewer main is at a significant depth
- Clarification as to how waste/recycling will be collected for the site
- Addition of note for W&WW contacts for the work around the Regional Infrastructure
- A revised stormwater management brief be submitted for review and approval to address flows for the 100 year storm

If you have any questions or wish to discuss these comments please contact the undersigned at extension 3345, or Richard Wilson, MCIP, RPP, Senior Development Planner at extension 3391.

Best Regards,



Susan M. Dunsmore, P.Eng.  
Development Engineer  
Niagara Region

Attention: Appendix I – Regional Conditions for Site Plan Approval  
Appendix II – Urban Design Sketch

- cc. Richard Wilson, MCIP, RPP, Senior Development Planner, Niagara Region  
Lester Lipiec, Corridor Technician Permits, Niagara Region  
John Brunet, Area I Water Operations Manager, Niagara Region  
Mark Airhardt, Area I Water System Maintenance Manager, Niagara Region  
Doug Johnson, Area I Wastewater Operations Manager, Niagara Region  
Robin Young, Area I Wastewater System Maintenance Manager, Niagara Region  
Vanessa Aykroyd, OALA, CSLA, Landscape Architect, Niagara Region  
Normans Taurins, OLS, OLIP, Manager Surveys and Property Information, Niagara Region  
Norma Price, Law Clerk, Niagara Region



**Appendix I**  
**Regional Conditions of Site Plan Approval**  
**~~364~~ Four Mile Creek Road (Regional Road 100)**

---

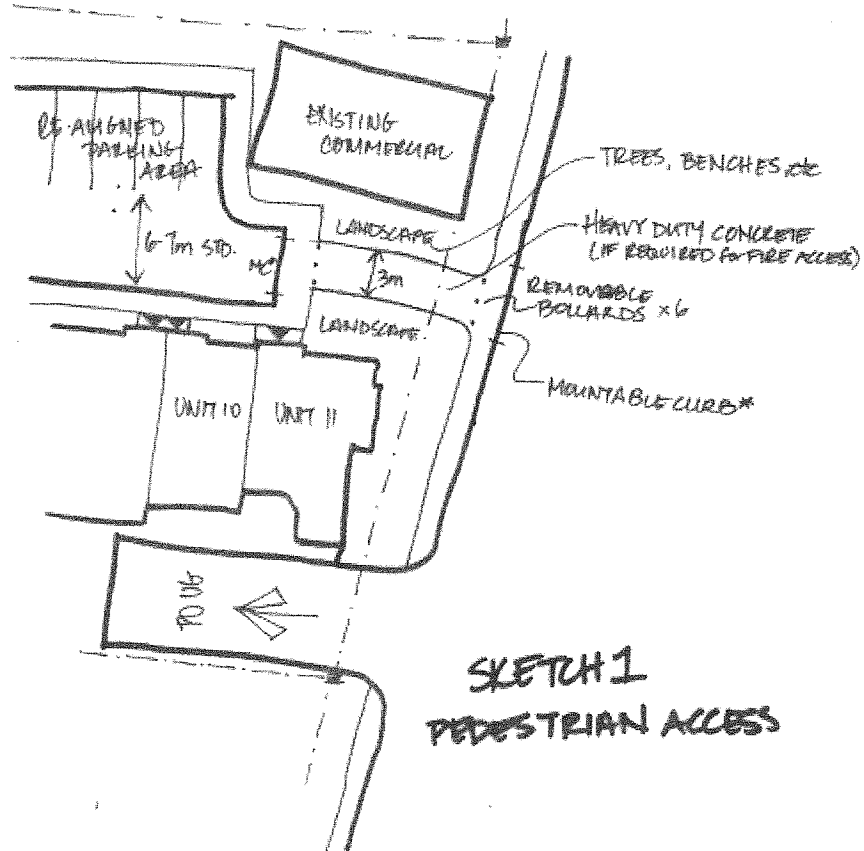
I. That the following conditions be included in the Site Plan Agreement:

- i. That the owner dedicate 3.05m road widening to the Regional Municipality of Niagara along the frontage of Regional Road 81 (York Road), prior to the issuance of a building permit, to the satisfaction of Niagara Region.
- ii. That the owner dedicate 2.0 metre road widening to the Regional Municipality of Niagara along the frontage of Regional Road 100 (Four Mile Creek Road), prior to the issuance of a building permit, to the satisfaction of Niagara Region.
- iii. "That the owner enter into a legal agreement with the Regional Municipality of Niagara to implement and pay for all required road works (addition of left turn lane on Four Mile Creek Road) for this development, and submit a Letter of Credit for the estimated cost of the required road works."
- iv. "That prior to any construction taking place within the Regional Road allowance including the alteration of the existing access points the owner shall obtain a Construction Encroachment Permit and Regional Entrance Permits"
- v. "That the owner shall not be permitted additional access to the subject property from Regional Road 81 or Regional Road 100 road allowances except that which was approved on Site Plan, XXXXXXXX by XXXXXXXX (dated XXXXXXXX) or subsequently approved versions by the Region."
- vi. "The owner shall be advised that the approved site plan does not meet Niagara Region's Corporate Policy and Corporate Procedure to be eligible for Regional waste collection, so this service will be provided through a private contractor" This will be confirmed once the applicant/owner advises what is the intention of waste/recycling collection
- vii. "The owner implement the Stormwater Management plan in accordance with the approved report and design drawings."
- viii. "That the owner obtain a certificate from an Ontario Land Surveyor stating that all existing and new survey evidence is in place at the completion of the development."
- ix. "Should deeply buried archaeological remains/resources be found on the property during construction activities, the Heritage Operations Unit of the Ontario Ministry of Tourism, Culture and Sport and [owner's archaeology consultant] shall be notified immediately. In the event that human remains are encountered during construction, the owner shall immediately notify the police or coroner, the Registrar of Cemeteries of the Ministry of Small Business and Consumer Services, the Ministry of Tourism, Culture and Sport and [owner's archaeology consultant]."

- x. "That the owner will be required to enter into an encroachment agreement with the Region for the existing building and proposed landscaping and furniture that is in the Regional Road Allowances.
2. That the following conditions be included in the Site Plan Agreement and inserted in all Offers and Agreements of Purchase and Sale or Lease Agreements for each dwelling unit:
- a. "Purchasers/tenants are advised that sound levels from increasing road traffic on Four Mile Creek Road (Regional Road 100) and York Road (Regional Road 81) may be audible at times within the dwelling and in outdoor areas."

Appendix II  
Urban Design Sketch for the Four Mile Creek Road Access points

---



May 4, 2018

JESSE AUSPITZ  
TOWN OF NIAGARA ON THE LAKE  
1593 FOUR MILE CREEK ROAD  
P.O BOX 100, VIRGIL, ON

Re: City File No.: SP-08-2018 – 242-246 Four Mile Creek Road & 1397 York Road

Dear Jesse,

This development will receive mail service to centralized mail facilities provided through our Community Mailbox program.

I will specify the conditions which I request to be added for Canada Post Corporation's purposes.

The owner shall complete to the satisfaction of the Director of Engineering of the Town of Niagara on the Lake and Canada Post:

- a) Include on all offers of purchase and sale, a statement that advises the prospective purchaser:
  - i) that the home/business mail delivery will be from a designated Centralized Mail Box.
  - ii) that the developers/owners be responsible for officially notifying the purchasers of the exact Centralized Mail Box locations prior to the closing of any home sales.
- b) The owner further agrees to:
  - i) work with Canada Post to determine and provide temporary suitable Centralized Mail Box locations which may be utilized by Canada Post until the curbs, boulevards and sidewalks are in place in the remainder of the subdivision.

- ii) install a concrete pad in accordance with the requirements of and in locations to be approved by Canada Post to facilitate the placement of Community Mail Boxes
  - iii) identify the pads above on the engineering servicing drawings. Said pads are to be poured at the time of the sidewalk and/or curb installation within each phase of the plan of subdivision.
  - iv) determine the location of all centralized mail receiving facilities in co-operation with Canada Post and to indicate the location of the centralized mail facilities on appropriate maps, information boards and plans. Maps are also to be prominently displayed in the sales office(s) showing specific Centralized Mail Facility locations.
- a) Canada Post's multi-unit policy, which requires that the owner/developer provide the centralized mail facility (front loading lockbox assembly or rear-loading mailroom [mandatory for 100 units or more]), at their own expense, will be in effect for buildings and complexes with a common lobby, common indoor or sheltered space.

Should the description of the project change, I would appreciate an update in order to assess the impact of the change on mail service.

If you have any questions or concerns regarding these conditions, please contact me.

I appreciate the opportunity to comment on this project.

Regards,

*A. Carrigan*

Andrew Carrigan  
Delivery Planning Officer  
[Andrew.Carrigan@canadapost.ca](mailto:Andrew.Carrigan@canadapost.ca)





Enbridge Gas Distribution  
500 Consumers Road  
North York, Ontario M2J 1P8  
Canada

November 19, 2018

Jesse Auspitz, MCIP, RPP  
Planner II  
The Town of Niagara-on-the-Lake  
Community & Development Services  
1593 Four Mile Creek Road – PO Box 100  
Virgil, ON L0S 1T0

Dear Jesse,

Re: Site Plan Application  
1913954 Ontario Inc.  
242-246 Four Mile Creek Road and 1397 York Road  
Town of Niagara-on-the-Lake  
File No.: SP-08-2018

Enbridge Gas Distribution has no changes to the previously identified conditions for this revised application(s).

Sincerely,

A handwritten signature in black ink that reads 'Alice Coleman'.

**Alice Coleman**

Municipal Planning Coordinator  
Long Range Distribution Planning

**ENBRIDGE GAS DISTRIBUTION**

TEL: 416-495-5386

[MunicipalPlanning@enbridge.com](mailto:MunicipalPlanning@enbridge.com)

500 Consumers Rd, North York, ON, M2J 1P8

[enbridgegas.com](http://enbridgegas.com)

**Integrity. Safety. Respect.**

AC/jh