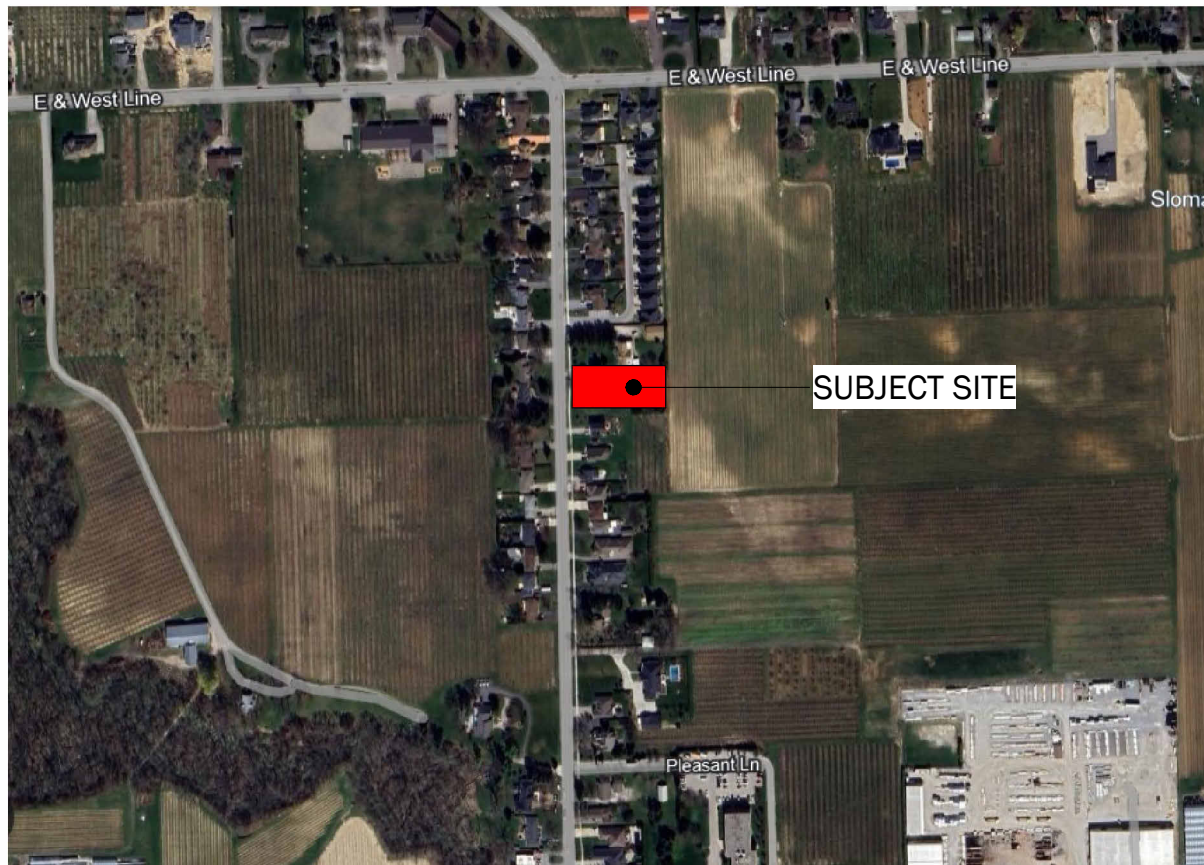
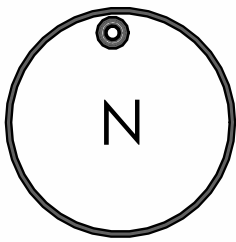


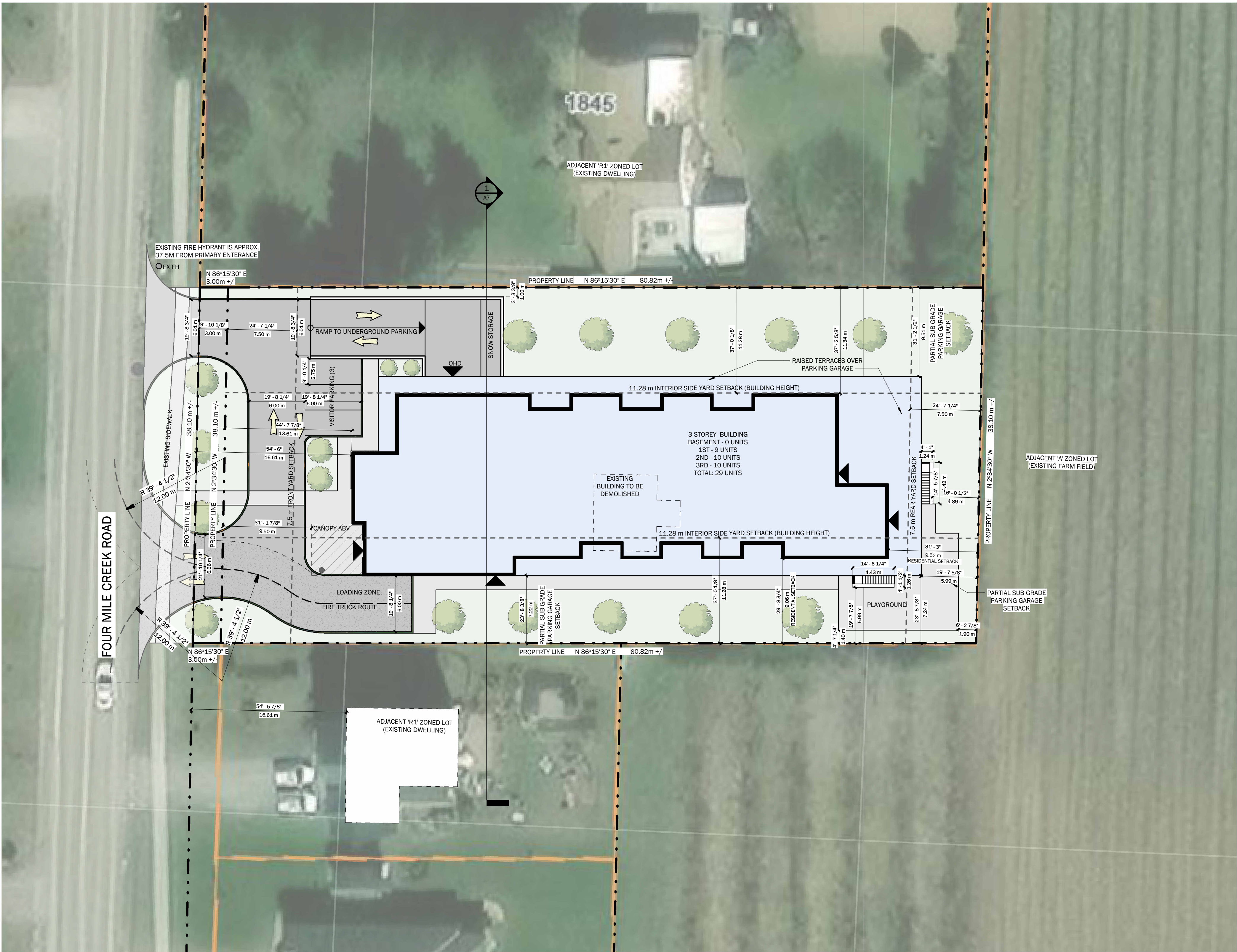


KEY PLAN

NOT TO SCALE

PRELIMINARY SITE STATS		RM2 - RESIDENTIAL MULTIPLE ZONE			
		HECTARES	ft²	m²	%
LOT AREA					
Lot Area - Minimum (135 sq.m/unit)		0.3915	42140.7	3,915.0	
Lot Area		0.3193	34365.8	3,192.7	
Road Widening (subtracted)		0.0114	1230.2	114.3	
Total Developable Lot Area		0.3078	33135.6	3078.4	100%
LOT FRONTAGE					
Required			30.0 m	100.0 ft	
Provided			38.1 m	125.0 ft	
LOT COVERAGE					
Permitted					
Lot Coverage			11597.5	1,077.4	35.0%
Proposed					
Building			13676.4	1,270.6	41.3%
Canopy and Balconies			326.5	0.0	0.0%
Total			14002.9	1270.6	42.26%
LANDSCAPE COVERAGE (INCLUDES SIDEWALKS/PATIOS)					
Minimum			9940.7	923.5	30.0%
Proposed			13767.8	1,279.1	41.55%
PAVED/PARKING AREA (NOT COVERED BY BUILDING)					
Proposed			5364.9	498.4	16.19%
SETBACKS					
Front Yard (Building)	Required		7.5 m	13.61 m	
	To Canopy			9.50 m	
Rear Yard (Building)	Required		7.5 m	5.99 m	
	To Stairs			4.89 m	
Interior Yard	North - Building	11.28 m		9.51 m	
	Ramp			1.00 m	
	South - Building Stairs	11.28 m		7.22 m	
				5.99 m	
BUILDING HEIGHT					
Permitted			10.5 m	34.45 ft	
Proposed			11.28 m	37.0 ft	
PARKING STATS					
PARKING REQUIRED					
Residential		1.00 per unit			29.0
Total					29.0
BF Required					2 Spaces
Loading Required					0 Spaces
Bike Required					0 Space
PARKING PROVIDED					
Surface Parking					3
Total					32
BF Provided					2 Spaces
Loading Provided					1 Spaces
Bike Provided		Interior			11 Spaces
BUILDING STATS					
Residential					
1st FLOOR 0					
2nd FLOOR 9					
3rd FLOOR 10					
4th FLOOR 10					
Total Units 29					

* DISCLAIMER: ISSUED FOR PRELIMINARY DESIGN DISCUSSION ONLY



SITE PLAN - CONCEPT

1" = 20'-0"

NOTL RESIDENTIAL DEVELOPMENT

1839 FOUR MILE CREEK ROAD, NIAGARA-ON-THE-LAKE, ON, L0S 1J0

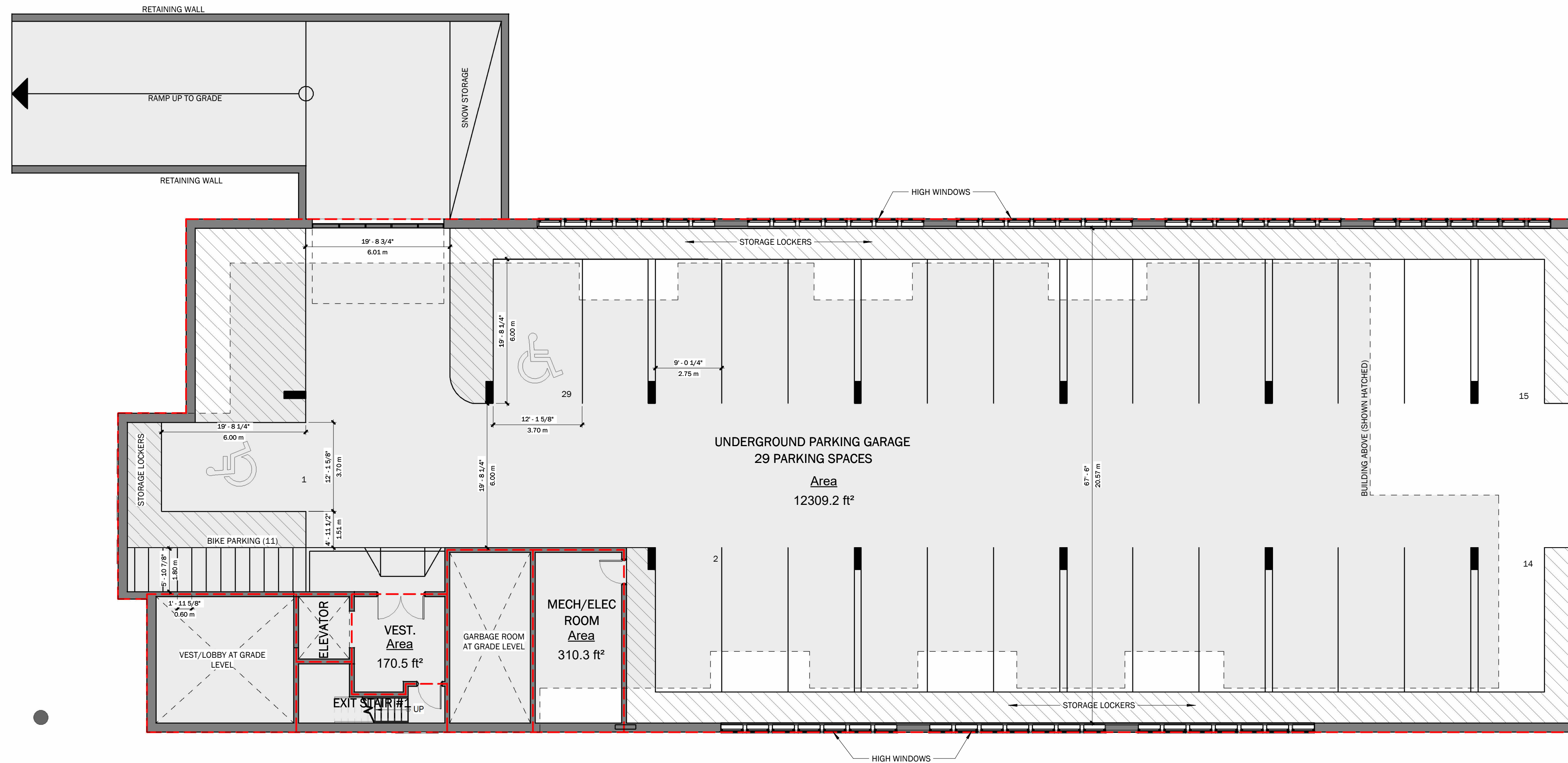
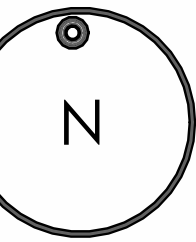
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architects
STUDIO INC.

SITE PLAN

DWG. No.

.SP1

SCALE: AS SHOWN
DATE: AUGUST 2024
PROJECT No.: 2024-159



UNDERGROUND PARKING
1" = 10'-0"
13,677 SQ.FT

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NOTL RESIDENTIAL DEVELOPMENT

1839 FOUR MILE CREEK ROAD, NIAGARA-ON-THE-LAKE, ON, L0S 1J0

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UNDERGROUND
PARKING

DWG. No.

.UG1

SCALE: AS SHOWN
DATE: AUGUST 2024
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FRONT (FOUR MILE CREEK) ELEVATION

1" = 10'-0"



FRONT - RIGHT PERSPECTIVE



RIGHT (SOUTH) ELEVATION

1" = 10'-0"

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NOTL RESIDENTIAL DEVELOPMENT

1839 FOUR MILE CREEK ROAD, NIAGARA-ON-THE-LAKE, ON, L0S 1J0

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FRONT AND RIGHT
ELEVATION

DWG. No.

A3

SCALE: AS SHOWN
DATE: AUGUST 2024
PROJECT No.: 2024-159


$$1'' = 10'-0''$$

$$1'' = 10'-0''$$

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NOTL RESIDENTIAL DEVELOPMENT

1839 FOUR MILE CREEK ROAD, NIAGARA-ON-THE-LAKE, ON, L0S 1J0

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REAR AND LEFT ELEVATION

DWG. No

A5

SCALE: AS SHOWN
DATE: AUGUST 2024
PROJECT No.: 2024-159



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1839 FOUR MILE CREEK ROAD, NIAGARA-ON-THE-LAKE, ON, L0S 1J0

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STUDIO INC.

ARTISTIC
RENDERING

DWG. No.
A6

SCALE: AS SHOWN
DATE: AUGUST 2024
PROJECT No.: 2024-159