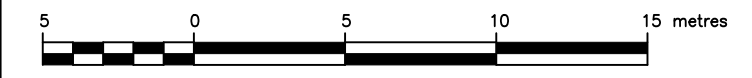


NOTE: THIS SKETCH IS NOT A PLAN OF SURVEY

SKETCH FOR PLANNING PURPOSES ONLY

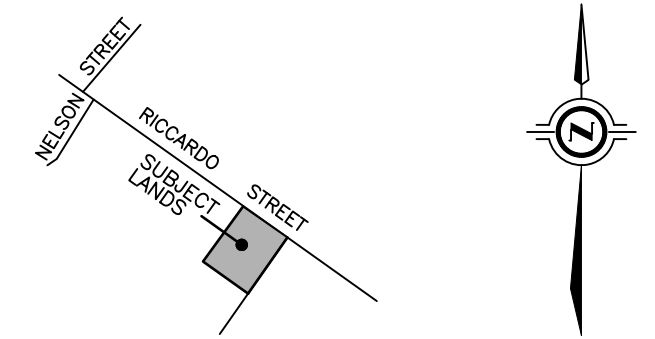
**242 RICARDO STREET**  
 TOWN OF NIAGARA-ON-THE-LAKE  
 REGIONAL MUNICIPALITY OF NIAGARA  
 SCALE 1 : 250



J.D. BARNES LIMITED  
 © COPYRIGHT 2024

**METRIC NOTE**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

KEY PLAN (not to scale)



TOWN OF NIAGARA-ON-THE-LAKE

**LEGAL DESCRIPTION**

PART OF BLOCK 18, TP PLAN 86 AND PART OF BLOCK A, TP PLAN 30

BOUNDARY INFORMATION HAS BEEN DERIVED FROM A FIELD SURVEY DATED DECEMBER 22, 2023. THIS IS NOT A PLAN OF SURVEY.

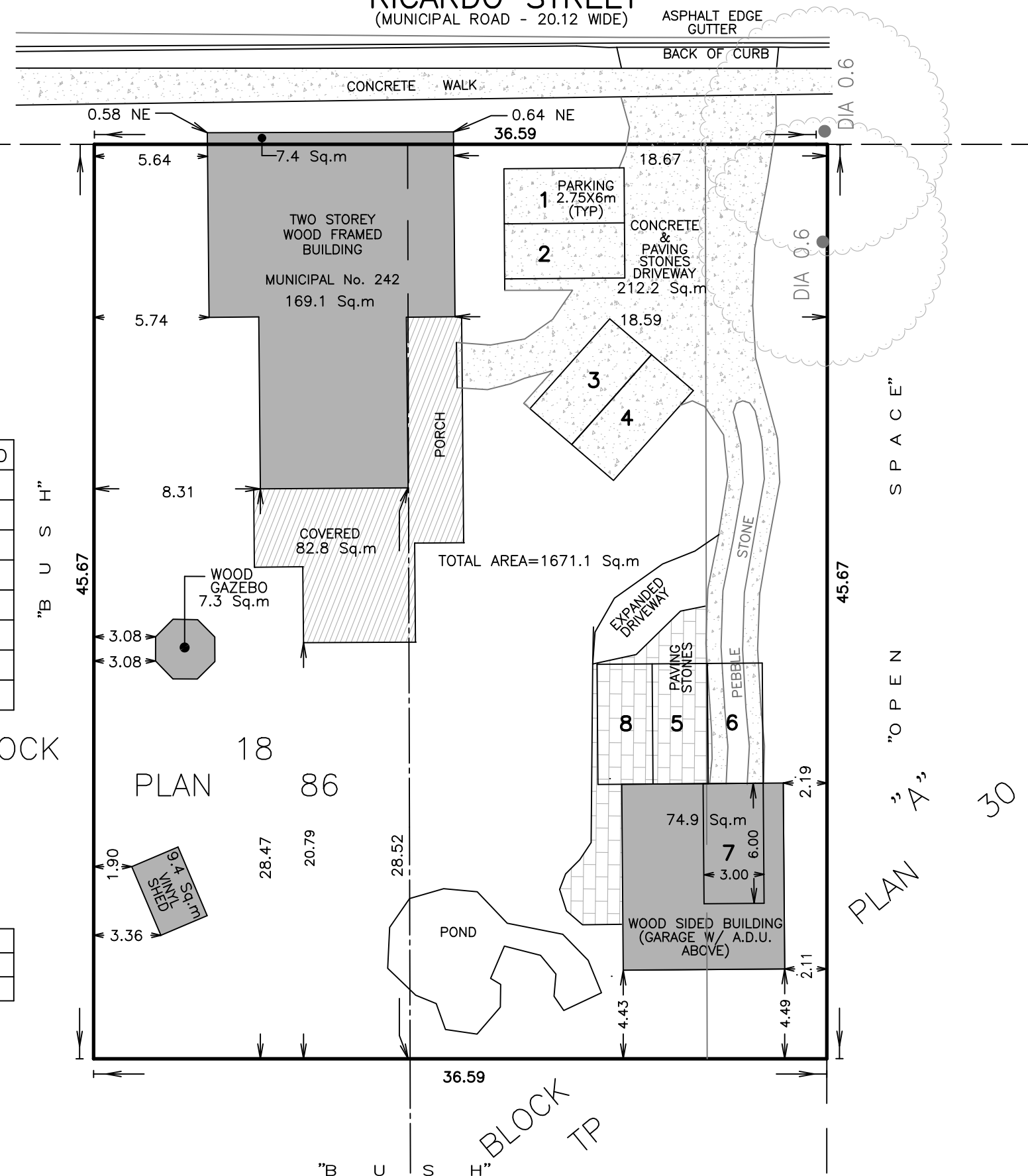
APRIL 4, 2024  
 DATE

*Andrew Handspiker*  
 ANDREW HANDSPIKER  
 ONTARIO LAND SURVEYOR

**J.D. BARNES LIMITED**  
 SURVEYING MAPPING GIS  
 LAND INFORMATION SPECIALISTS  
 4318 PORTAGE ROAD - UNIT 2, NIAGARA FALLS, ON L2E 6A4  
 T: (905) 358-3693 F: (905) 358-6224 www.jdbarnes.com

TS	DRAWN
AH	CHECKED
APR. 4/24	DATED:
23-16-369-01	Ref. No.

**RICARDO STREET**  
 (MUNICIPAL ROAD - 20.12 WIDE)



**ZONING CONFORMITY (ER3)**

	REQUIRED	PROVIDED
MINIMUM FRONT YARD SETBACK	7.5	0
MINIMUM REAR YARD SETBACK	7.5	20.79
MINIMUM INTERIOR SIDE YARD SETBACK	1.22	5.64
MINIMUM REAR YARD SETBACK FOR ACCESSORY BUILDINGS	1.52	4.43
MINIMUM SIDE YARD SETBACK FOR ACCESSORY BUILDINGS	1.52	1.90
MAXIMUM LOT COVERAGE	33%	20.6%
MINIMUM LANDSCAPED OPEN SPACE	30%	66.7%
PARKING SPACES	-	8

**PARKING REQUIREMENTS**

	RESIDENTIAL UNITS	PARKING SPACES
PRIMARY RESIDENCE		2
GUEST ROOMS	5	5
ACCESSORY DWELLING UNIT	1	1
TOTAL SPACES:		8

**CAUTION**

- (A) THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.
- (B) THIS SKETCH IS PROTECTED BY COPYRIGHT.

FILE: G:\2023\23-16-369\01 - 23-16-369\Drawing\23-16-369-01-LDC.dwg