

Explanation of the Purpose and Effect of
By-law 4316FM-24

The subject lands are described as 1320 Niagara Stone Road, Niagara-on-the-Lake, more particularly described as Part of Township Lot 120 Niagara as in RO661362, Town of Niagara-on-the-Lake, Regional Municipality of Niagara.

Purpose

The purpose of this By-law is to rezone the subject lands to permit the creation of three (3) new residential lots for future single-detached dwellings and retain one (1) lot for an existing single-detached dwelling.

Effect

The effect of this By-law is to rezone the subject lands from “Virgil Community Zoning District – Residential Development (RD) Zone” to “Virgil Community Zoning District – Residential (R1) Zone” and “Virgil Community Zoning District - Residential [R1-46(a)], [R1-46(b)], and [R1-46(c)] Site Specific Zones” with site-specific provisions pertaining to lot frontage and driveway setbacks.

<i>Owner:</i>	Marion Dorothy Homer (Jack Homer Executor)
<i>File Number:</i>	ZBA-01-2024
<i>Report Numbers:</i>	CDS-24-077
<i>Assessment Roll Number:</i>	262702001428100

**THE CORPORATION
OF THE
TOWN OF NIAGARA-ON-THE-LAKE
BY-LAW NO. 4316FM-24**

1320 Niagara Stone Road, Roll #: 262702001428100

A BY-LAW TO AMEND BY-LAW NO. 4316-09, AS AMENDED, ENTITLED
A BY-LAW TO REGULATE THE USE OF LANDS AND THE ERECTION,
USE, BULK, HEIGHT, LOCATION, AND SPACING OF BUILDINGS AND
STRUCTURES WITHIN THE TOWN OF NIAGARA-ON-THE-LAKE.

WHEREAS the Town of Niagara-on-the-Lake Council is empowered to enact this By-law by virtue of the provisions of Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended;

AND WHEREAS this By-law conforms to the Town of Niagara-on-the-Lake Official Plan.

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF NIAGARA-ON-THE-LAKE enacts as follows:

1. Schedule "A-14" of By-law 4316-09, as amended, is further amended by changing the zoning of the subject lands identified on Map 'A' attached to and forming part of this By-law from "Virgil Community Zoning District – Residential Development (RD) Zone" to "Virgil Community Zoning District – Residential (R1) Zone" and "Virgil Community Zoning District - Residential [R1-46(a)], [R1-46(b)], and [R1-46(c)] Site Specific Zones."
2. That Subsection 10.12 Site Specific Exceptions of By-law 4316-09, as amended, is hereby further amended by adding the following section:

10.12.46 1320 Niagara Stone Road – See Schedule 'A-14' [R1-46(a)], [R1-46(b)] and [R1-46(c)]

10.12.46.1 R1-46(a), R1-46(b) and R1-46(c) Parking Space Requirements, Additional Provisions

In lieu of the corresponding provisions of Subsection 6.40, and in addition to such provisions, the following provision shall apply to the subject lands identified as R1-46(a), R1-46(b) and R1-46(c) on Schedule 'A-14':

(j)	Minimum driveway setback from an interior property line for a shared access	0.0 metres
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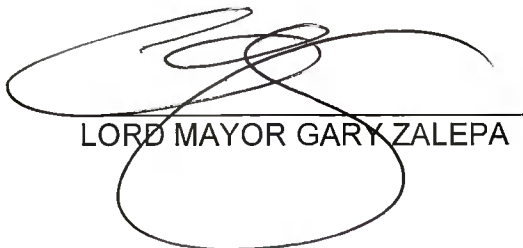
10.12.46.2 R1-46(c) Zone Requirements

In lieu of the corresponding provisions of Subsection 10.1.2, and in addition to such provisions, the following provision shall apply to the subject lands identified as R1-46(c) on Schedule 'A-14':

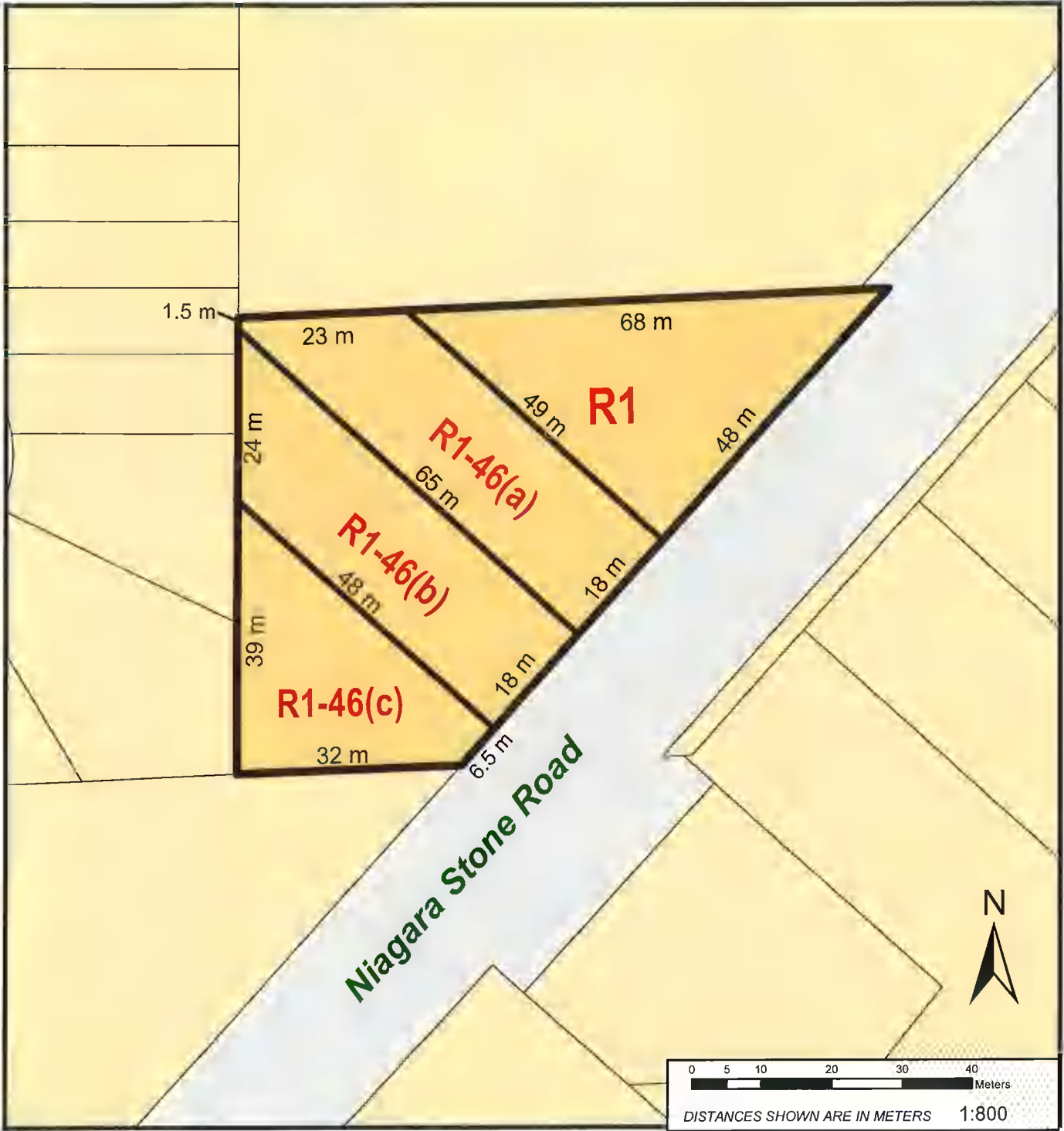
(a)	Minimum lot frontage	6.7 metres
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3. All other provisions of Zoning By-law 4316-09, as amended, shall continue to apply to the subject lands.
4. That the effective date of this By-law shall be the date of final passage thereof.


READ A FIRST, SECOND AND THIRD TIME THIS 28TH DAY OF MAY, 2024.


LORD MAYOR GARY ZALEPA



TOWN CLERK GRANT BIVOL



MAP 'A' ATTACHED TO BY-LAW 4316FM-24, BEING AN AMENDMENT TO SCHEDULE "A-14" OF ZONING BY-LAW 4316-09, AS AMENDED, OF THE TOWN OF NIAGARA-ON-THE-LAKE ON THIS 28TH DAY OF MAY, 2024.



 LORD MAYOR
 GARY ZALEPA



 TOWN CLERK
 GRANT BIVOL