

SITE PLAN
1:500

SITE STATS

*SITE AREA	10.17 HA 101,700 m ² (100%)	(IN DASH DOT DOT PROPERTY LINE)
-EXISTING PRE-ENG BARN	929 m ² (0.91%)	(IN THICK BLACK BOUNDARY)
-LANDSCAPED OPEN SPACE	96580.1 m ² (94.96%)	(INC. VINE AREA AND POND)

ON-FARM DIVERSIFIED USE PERMITTED

2.0% OF 101700m ² = 2034.0m ²	(2.00%)	(GRAY SHADE AREA IN BLUE DASH BOUNDARY)
20.0% OF 2034m ² = 407.0m ² (0.4% OF SITE)	(0.4%)	MAX. (SHADE)
(PERMITTED GROSS FLOOR AREA OF BUILDING USED FOR ON-FARM DIVERSIFIED USE)		

PROPOSED ON-FARM DIVERSIFIED AREAS SUMMARY				GENERAL NOTES
A	706.84 m ²	SECONDARY USE LANDSCAPE		All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of the work. This drawing not to be scaled, all drawings, prints and related documents are the property of the architect and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.
B	681.42 m ²	REQ'D PARKING AREA		
C	248.84 m ²	FARM WINERY INTERIOR USE (ie RETAIL, KITCHEN, HOSPITALITY) (407m ² MAX)		
D	464.52 m ²	OUTDOOR PATIO		
TOTAL	2099.55 m ²	(2034.0 m ² MAX)		

APPROVED LANDSCAPE AREA = 1300m²
LANDSCAPE PLAN BY JAMES McWILLIAM DEC 16 2021
OMAFRA NOTES:
-on-farm diversified uses may occupy no more than 2% of the property on which the uses are located, to a maximum of 1 ha
-The gross floor area of buildings used for on-farm diversified uses is limited (e.g., 20% of the 2%)

PARKING			
REQUIRED PARKING SPACE		PROVIDED PARKING SPACE	
TOTAL SECONDARY USE GROSS AREA 713.3m ² ±18.5=39 REQ'D		39 PROVIDED	
-HOSPITALITY INC. MEZZ. -OFFICE & STORAGE (MEZZ.) -RETAIL -KITCHEN			
REQUIRED FOR PRODUCTION WARE HOUSE: 547.1 m ² ±150=4		4 PROVIDED	
TOTAL		43 REQUIRED	
H.C. 3 REQUIRED FOR 63 PARKING		3 PROVIDED	
BIKE TOTAL HOSPITALITY = 602m ² ±100=6		7 PROVIDED	
7 REQUIRED			

PROPOSED ESTATE WINERY

976 YORK ROAD NIAGARA-ON-THE-LAKE



A.C.K. architects STUDIO INC.

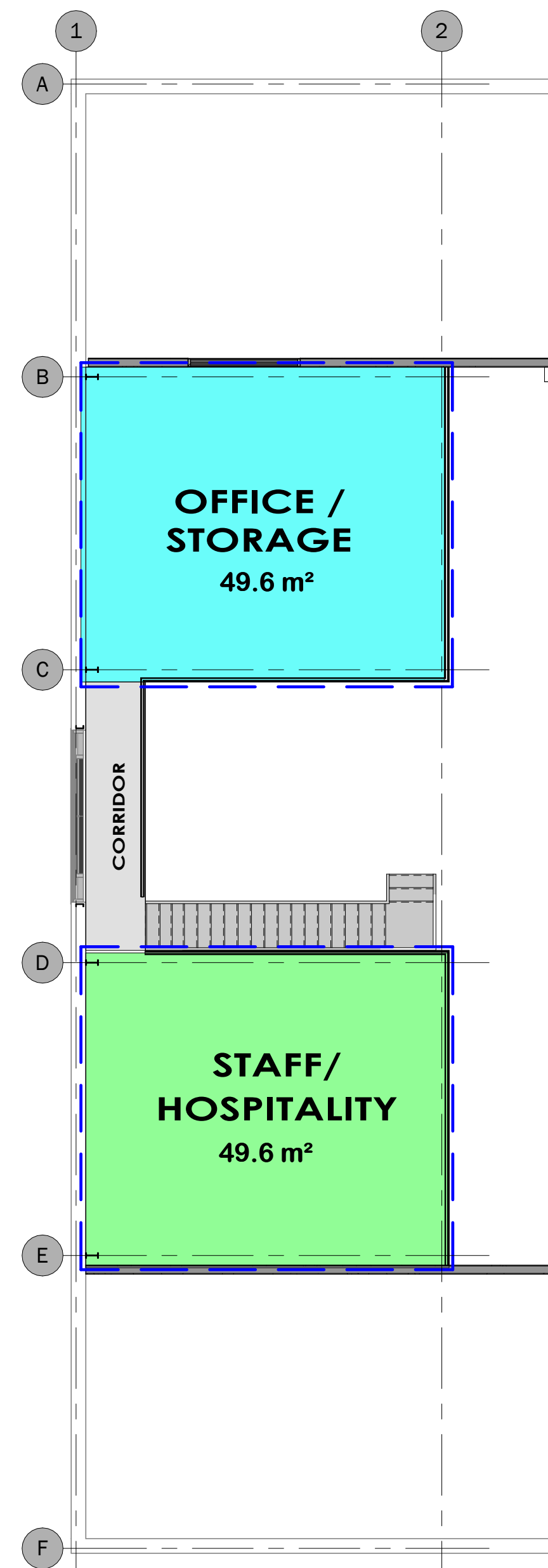
Architectural Office:
290 Gainsboro Ave. St. Catharines, ON L2T 2L3
905 984 5545

OWNER'S NAME
OWNER'S SIGNATURE
LORD MAYOR
TOWN CLERK
DATE

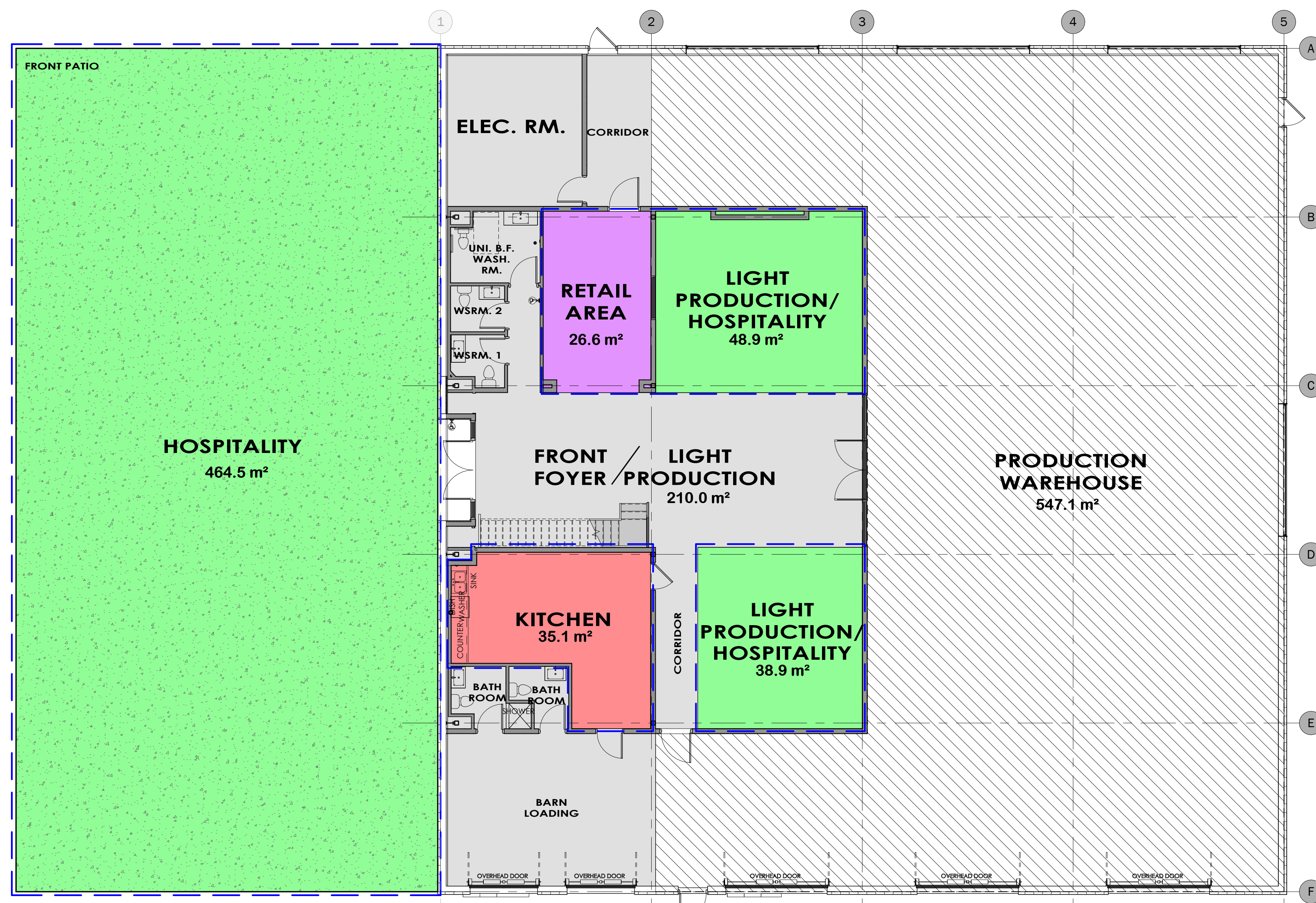


SHEET TITLE:
PROPOSED SITE PLAN
Issued for Re-Zoning
Issued for Site Plan Agreement:
Issued for Permit:
Issued for Tender:
Issued for Construction:
DRAWN BY: ACK DWG. No.
CHECKED BY: MDA
DATE: DEC 04 2023
SCALE: AS SHOWN
PROJECT No.: 2017-116

SP1

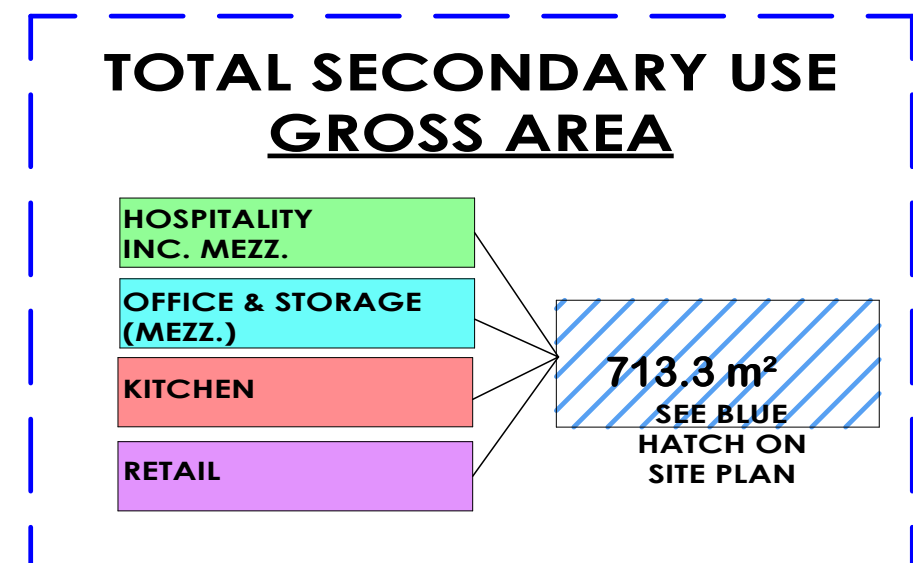


EXISTING MEZZ FL. AREA
1 : 100



EXISTING GROUND FLOOR
1 : 100

PRODUCTION WAREHOUSE	547.1 m²
UTILITY AREA (GRD. FL. ONLY)	210.0 m²
TOTAL HOSPITALITY INC. MEZZ.	602.0 m²
OFFICE & STORAGE (MEZZ.)	49.6 m²
KITCHEN	35.1 m²
RETAIL	26.6 m²
FRONT PATIO	464.5 m²



PARKING	
REQUIRED PARKING SPACE	PROVIDED PARKING SPACE
TOTAL SECONDARY USE GROSS AREA 713.3m² ÷ 18.5 = 39 REQ'D - HOSPITALITY INC. MEZZ. - OFFICE & STORAGE (MEZZ.) - RETAIL - KITCHEN	39 PROVIDED
REQUIRED FOR PRODUCTION WAREHOUSE: 547.1 m² ÷ 150 = 4	4 PROVIDED
TOTAL 4 + 39 = 43 REQUIRED	63 PROVIDED
H.C. 3 REQUIRED FOR 63 PARKING OFFICE 49.5m² / 250 = 0.2 = 1	3 PROVIDED
BIKE TOTAL HOSPITALITY = 602m² ÷ 100 = 6 7 REQUIRED	7 PROVIDED

GENERAL NOTES

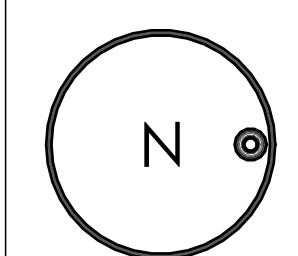
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NO.	DATE	REVISION	BY
1	OCT 04 2023	AS-BUILT / OBC	ACK
10	DEC 04 2023	ISSUED FOR REZONING R0	ACK

COMMISSION:

PROPOSED ESTATE WINERY

976 YORK ROAD NIAGARA-ON-THE-LAKE



SHEET TITLE:

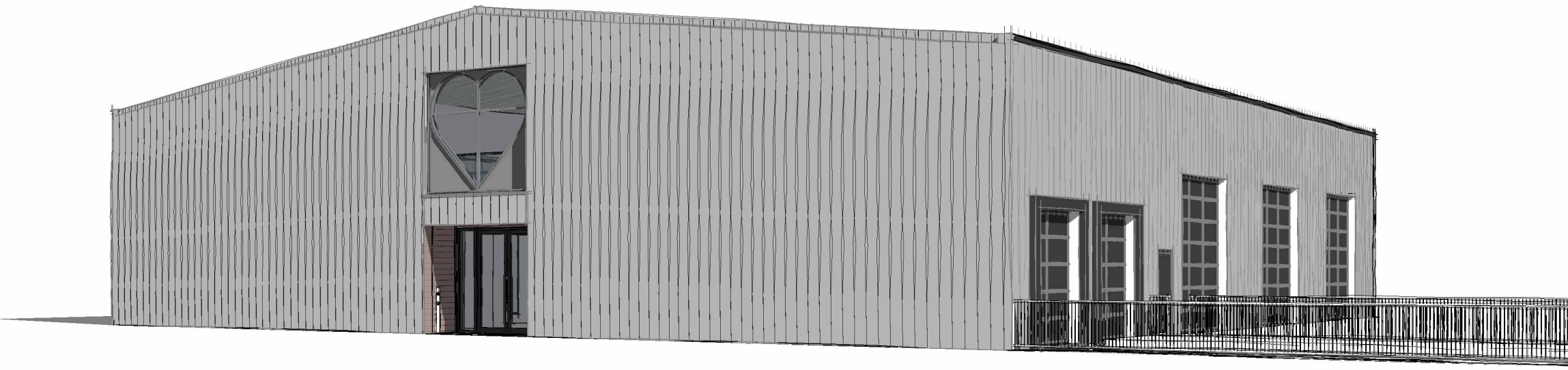
AMO WINERY AREA ALLOCATION PLAN

Issued for Re-Zoning	
Issued for Site Plan Agreement:	
Issued for Permit:	
Issued for Tender:	
Issued for Construction:	
DRAWN BY: ACK	DWG. No.
CHECKED BY: MA / JR	
DATE: DEC 04 2023	
SCALE: AS SHOWN	
PROJECT No.: 2017-116	

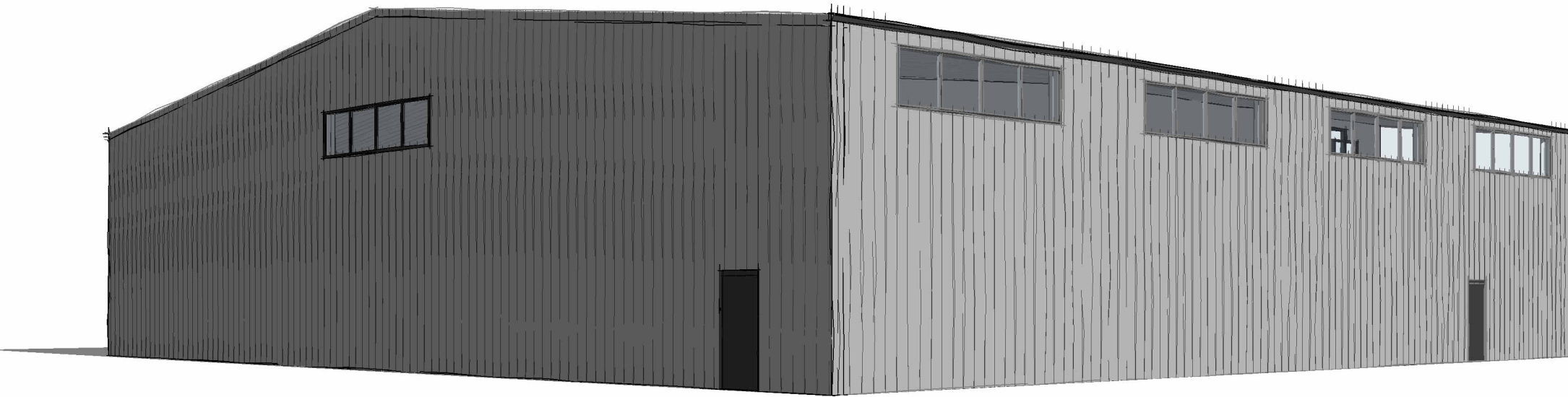
A 1.1

OWNER'S NAME
OWNER'S SIGNATURE

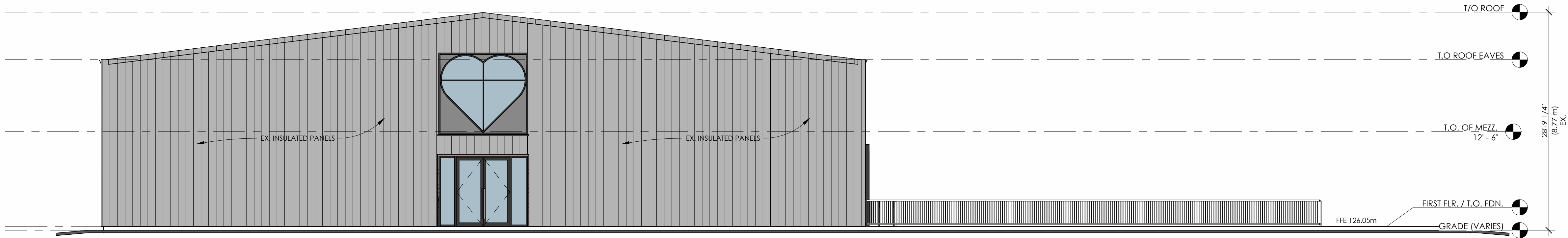
LORD MAYOR
TOWN CLERK
DATE



3D FRONT / RIGHT PERSPECTIVE

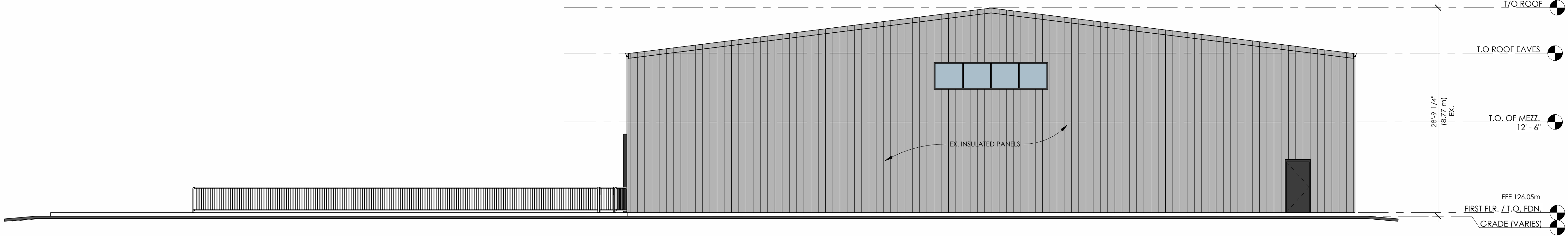


3D REAR / LEFT PERSPECTIVE



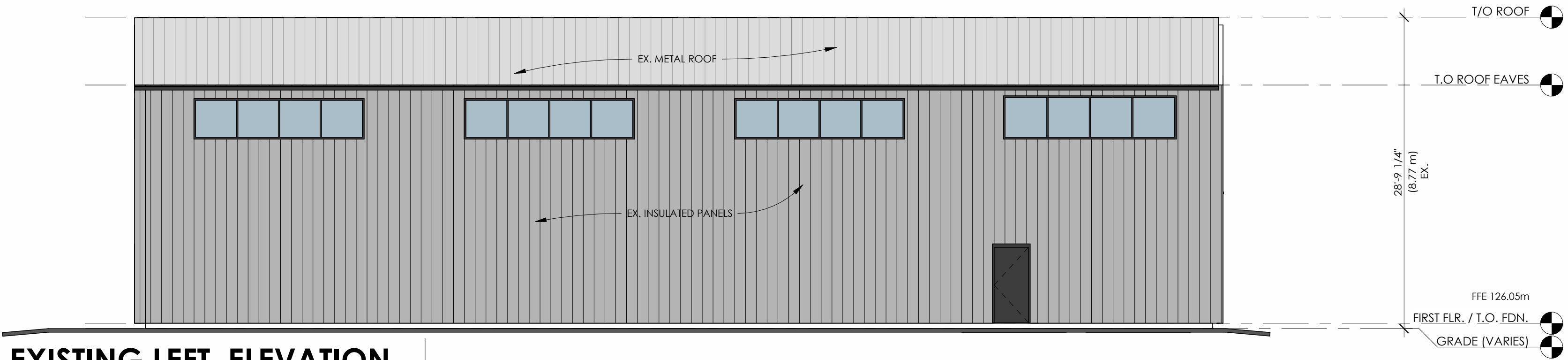
EXISTING. FRONT ELEVATION

1 : 100



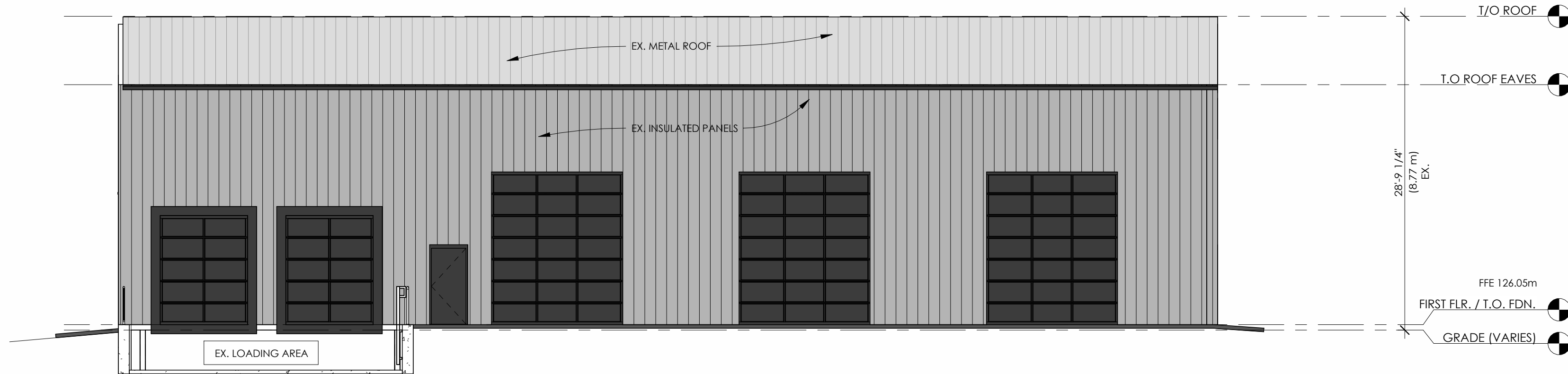
EXISTING REAR ELEVATION

1 : 100



EXISTING LEFT ELEVATION

1 : 100



EXISTING RIGHT ELEVATION

1 : 100

GENERAL NOTES

NO.	DATE:	REVISION:	BY:
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COMMISSION:

PROPOSED ESTATE
WINERY

976 YORK ROAD NIAGARA-ON-THE-LAKE



A · C · K
architects
STUDIO INC.

Architectural Office:
290 Glenvale Ave. St. Catharines, ON, L2T 2L3
905.984.5545

SHEET TITLE:

EXISTING BUILDING
ELEVATIONS

Issued for Re-Zoning

Issued for Site Plan Agreement:

Issued for Permit:

Issued for Tender:

Issued for Construction:

DRAWN BY:

ACK

CHECKED BY:

MA / JR

DATE:

DEC 04 2023

SCALE:

AS SHOWN

PROJECT No.:

2017-116

A 2.1



Town of
Niagara-on-the-Lake

LORD MAYOR

TOWN CLERK

DATE