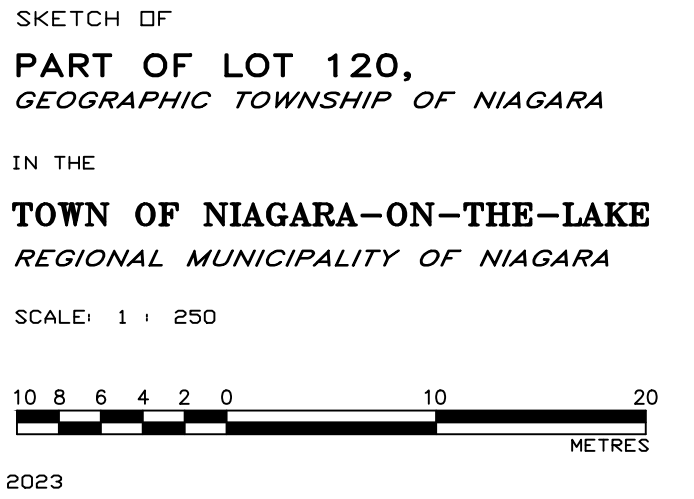
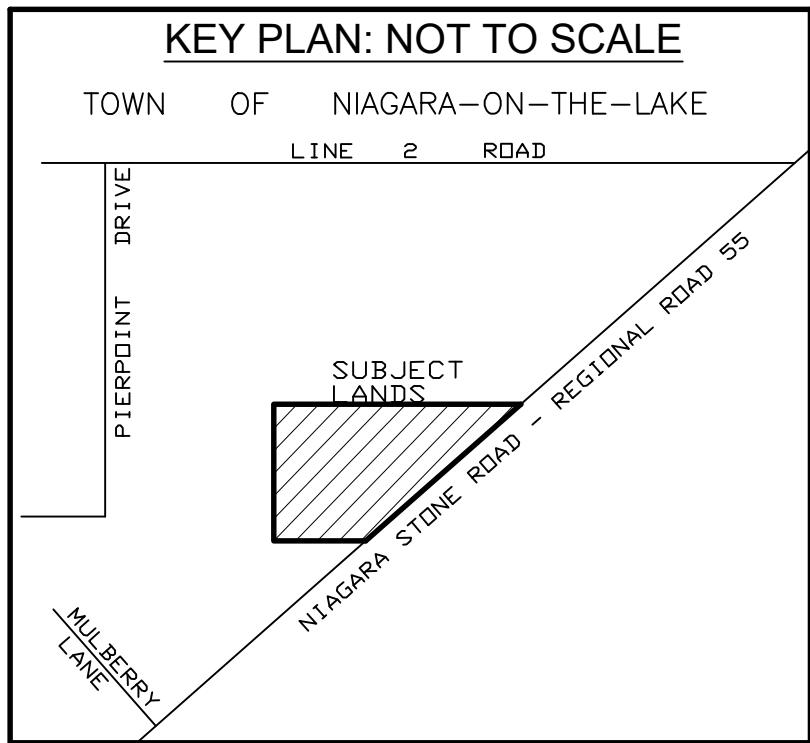




Proposed Zoning Classification | Conformance - Newly Created Parcels - R1 ZONE

ZONE REQUIREMENTS TABLE															
SCHEDULE F TO BYLAW 500A-74, AS AMENDED (FURTHER AMENDED BY BY-LAW 500GD-91)															
ZONE			PERMITTED USE	MINIMUM LOT REQUIREMENTS				MINIMUM YARD REQUIREMENTS				MINIMUM DWELLING FLOOR AREA			
SECTION	SYMBOL		TYPE	FRONTAGE	AREA	DEPTH	MAXIMUM COVERAGE	FRONT	INTERIOR SIDE	EXTENSION SIDE	REAR	1 STORY	2 STORY	MAXIMUM ACCESSORY FLOOR AREA	ACCESSORY FLOOR AREA
8	R1	a)	Residential - water & sewer	18.29 m (60 ft)	668.88 m² (7200 ft²)	36.58 m (120 ft)	33%	7.62 m (25 ft)	1.52 m (5 ft)	4.57 m (15 ft)	7.62 m (25 ft)	92.90 m² (1000 ft²)	139.35 m² (1500 ft²)	10.67 m (35 ft)	1.52 m (5 ft)

Conformance - Newly Created Parcels

Part 1 - remnant parcel - proposed															
8	R1	a)	RESIDENTIAL - SEWER + WATER	44.6 M	1184.71 M2	45.4 M	18.23 %	7.5 M	2.4 M	=	7.6 M	216.0±	=	5.6± M	=

Part 2 - new parcel - proposed (dwelling 3)															
8	R1	a)	RESIDENTIAL - SEWER + WATER	17.6 M	1047.34 M2	61.1 M	28.6 %	7.5 M	1.5 M	-	7.5 M	-	446.38±	6.7± M	-

Part 3 - new parcel - proposed (dwelling 2)															
8	R1	a)	RESIDENTIAL - SEWER + WATER	17.9 M	1026.46 M2	51.1 M	24.9 %	7.5 M	1.5 M	-	7.5 M	-	383.82±	6.7± M	-

Part 5 - new parcel - proposed (dwelling 1)															
8	R1	a)	RESIDENTIAL - SEWER + WATER	10.7 M	790.52 M2	45.02 M	30.4 %	7.5 M	1.5 M	=	7.5 M	=	369.37±	6.7± M	=

NOTES TO TABLE ABOVE
1. TWO STOREY DWELLING - GROSS FLOOR AREA INDICATED (TOTAL OF 1ST AND SECOND FLOOR AREAS)

PRELIMINARY DRAFT



1320 Niagara Stone



notes

Mr Jack Homer

drawing

Site Development
1320 Niagara Stone Road
Niagara Stone Road

disclaimer

do not scale drawings, verify all dimensions and information prior to construction report any errors and/or discrepancies to the value of these plans immediately. All construction must meet or exceed all applicable current building codes including all revisions. Contractor shall be responsible for providing with work not fully checked or verified on site to ensure intent of the drawings are fully adhered to in regards to the basic design intent.

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date of issues and revisions

- A - ISSUED FOR CLIENT REVIEW ONLY AUG 11 2023
- B - REFINED BUILDING ELEV. ZONING STATISTICS NOV 11 2023
- C - CORRECTED REFERENCE PLAN - NO ROAD WIDENING DEC 19 2023
- D - CORRECTED PART 3 AREA - PART 4 ADDED COVERAGE CALCULATIONS REVISED JAN 23 2024

drawn

drawing no.

reviewed

SP1.01

plot D

2023-79

Part 5
Street Elevation

Part 3

Part 2

Part 1

