

PETE HILL AND CARRIE CHAN

# CULTURAL HERITAGE IMPACT ASSESSMENT

40 PLATOFF STREET, NIAGARA-ON-THE-  
LAKE

JUNE 07, 2023





# CULTURAL HERITAGE IMPACT ASSESSMENT

40 PLATOFF STREET,  
NIAGARA-ON-THE-LAKE

PETE HILL AND CARRIE CHAN

DRAFT REPORT

DATE: JUNE 07, 2023

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WSP PROJECT NUMBER: 231-01207-00

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June 7, 2023

Date

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# EXECUTIVE SUMMARY

WSP was retained by Pete Hill and Carrie Chan to complete a Cultural Heritage Impact Assessment (CHIA) for the property located at 40 Platoff Street (subject property) in the Town of Niagara-on-the-Lake. The report was undertaken to accompany the submission of a Minor Variance application, which proposes retention of the existing building on site and the construction of a new two-storey addition on the western half of the rear elevation of the house. The proposed addition will measure 11.583 metres by 5.169 metres and will have a total height of 7.728 metres.

The property at 40 Platoff Street includes a two-and-a-half storey Neo-Classical building, which was purpose-built in 1859 for use as the Niagara Public School. The subject property is designated under Part IV of the *Ontario Heritage Act* (OHA), it is also located within the Town of Niagara-on-the-Lake National Historic Site of Canada, and within the boundaries of the proposed Historic Old Town Heritage Conservation District (HCD) Plan area.

As the property was designated prior to provincial criteria used to standardize the designation process (Ontario Regulation 9/06), WSP has completed an evaluation of the property to create an updated Statement of Cultural Heritage Value and List of Attributes. This CHIA has evaluated the subject property against the criteria outlined in Ontario Regulation 9/06 and determined that it possesses cultural heritage value or interest (CHVI) for its design or physical value, tied to the architecture rarity and craftsmanship of the residence. The property was also found to possess associative value for its connections with James Crooks, John Thornton and Janet Carnochan, all prominent local figures in the Town of Niagara. The property was also found to have contextual value for its location within the Town of Niagara-on-the-Lake National Historic Site and the Historic Old Town Heritage HCD as it contributes visually to the historic streetscape along Platoff Street and Davy Street. As such, a Statement of Cultural Heritage Value or Interest and List of Heritage Attributes has been compiled.

An assessment of the proposed development plan for the project location at 40 Platoff Street was undertaken using the CHVI and List of Heritage Attributes completed for the property. It was determined that the proposed residential addition on the rear façade would have moderate impacts on the property at 40 Platoff Street, as well as potential indirect impacts to the subject property, 30 Platoff Street, 54 Platoff Street, 244 Davy Street, 263 Davy Street. The proposed addition would have no impacts to the National Historic Site, the proposed Historic Old Town HCD or the Queen-Picton HCD. The impacts to the subject property relate to the alteration of the foundation and footing on the rear elevation of 40 Platoff Street. The following alternatives, mitigation measures and conservation options were considered to avoid or reduce these adverse impacts to the heritage attributes of the subject property:

- 1) Preserve and maintain the property at 40 Platoff Street as is with no further development.
- 2) Develop 40 Platoff Street as proposed in Appendix B, with a two-storey addition with an end gable roof and horizontal exterior cladding.
- 3) Develop 40 Platoff Street as proposed in Appendix C with a two-storey addition with a flat roof and vertical exterior cladding.

Based on the review of the alternatives, mitigation and conservation options analysis, Option 1, Do Nothing, is the preferred option from a cultural heritage perspective. However, a Do Nothing approach does not support the proposed use of the subject property. Construction of the rear addition ensures a viable and stable use that will improve the probability that the site will be utilized and conserved in the long-term. The limited indirect and direct impacts of the proposed addition are not cause to deny the approval of the Minor Variance application.

As such, Option 2 followed by Option 3 are the next preferred options. The following conservation/mitigation strategies are recommended:

1. Prior to the construction of the new foundation and footing, the existing structure should be assessed pre-construction to document the physical condition, noting any pre-existing deficiencies, and structural integrity of the building to inform thresholds for vibration impacts and land excavation in proximity to the foundation. Care should be taken not to compromise the existing foundation during excavations for the new footing and foundation.
2. Given the proximity of the 30 Platoff Street and 263 Davy Street to the proposed construction area, a comprehensive pre-construction survey should be completed and a Zone of Influence Construction Vibration Study to monitor and mitigate vibration impacts during construction.
3. Prepare a Tree Inventory and Assessment report for the subject property. The plan should provide an assessment of applicable policy, methods and results of the tree inventory completed for the subject property. The plan should also outline the trees within the subject property that will be retained or require removal. The Tree Preservation Plan should provide recommendations on replacement tree species as well as planting location.
4. Establish a plan to avoid impact to the resources during construction including a buffer around the Neo-Classical structure with a silt fence and appropriate location of staging and construction materials and equipment.
5. Prior to the construction of the proposed addition, the rear elevation should be subject to a scoped Cultural Heritage Resources Documentation Report (CHRDR) to photographically document the names of former students that have been carved into the brick. The CHRDR should be submitted to the Niagara-on-the-Lake Museum.
6. Contract documentation should include information regarding the CHVI of the aforementioned properties, specifically the List of Heritage Attributes.
7. Should development plans change significantly in scope or design after approval of this CHIA, additional cultural heritage investigations may be required.
8. Once finalized, a copy of this CHIA should be distributed to the Town of Niagara-on-the-Lake Public Library.

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**D**

DESIGNATION BY-LAW: 40 PLATOFF  
STREET

# 1 INTRODUCTION

WSP was retained by Pete Hill and Carrie Chan to complete a Cultural Heritage Impact Assessment (CHIA) for the property located at 40 Platoff Street (subject property) in the Town of Niagara-on-the-Lake (Figures 1 and 2). The report was undertaken to accompany the submission of a Minor Variance application for the proposed construction of a two-storey addition. The proposed addition, located on the rear (south) elevation would consist of a two-storey structure, measuring 11.583 metres by 5.169 metres, with a total height of 7.728 metres. The proposed addition would be attached to the footing and foundation of the existing structure via a rebar connection and would result in the alteration of the footing and foundation. The main floor and second floor of the addition would be attached to the existing structure by means of a reversible adhesive, suited for use on brick.

The property at 40 Platoff Street is comprised of a two-and-a-half storey Neo-Classical structure, which was purpose built as the Niagara Public School, constructed of brick in 1859. The subject property is designated under Part IV of the *Ontario Heritage Act* (Appendix D) and located within the Town of Niagara-on-the-Lake National Historic Site of Canada. The subject property is also located within the Historic Old Town Heritage Conservation District (HCD) Plan, an expansion of the Queen-Picton Streets HCD. The expansion area of the Old Town HCD Plan has not been completed or adopted by the Town of Niagara-on-the-Lake Council.

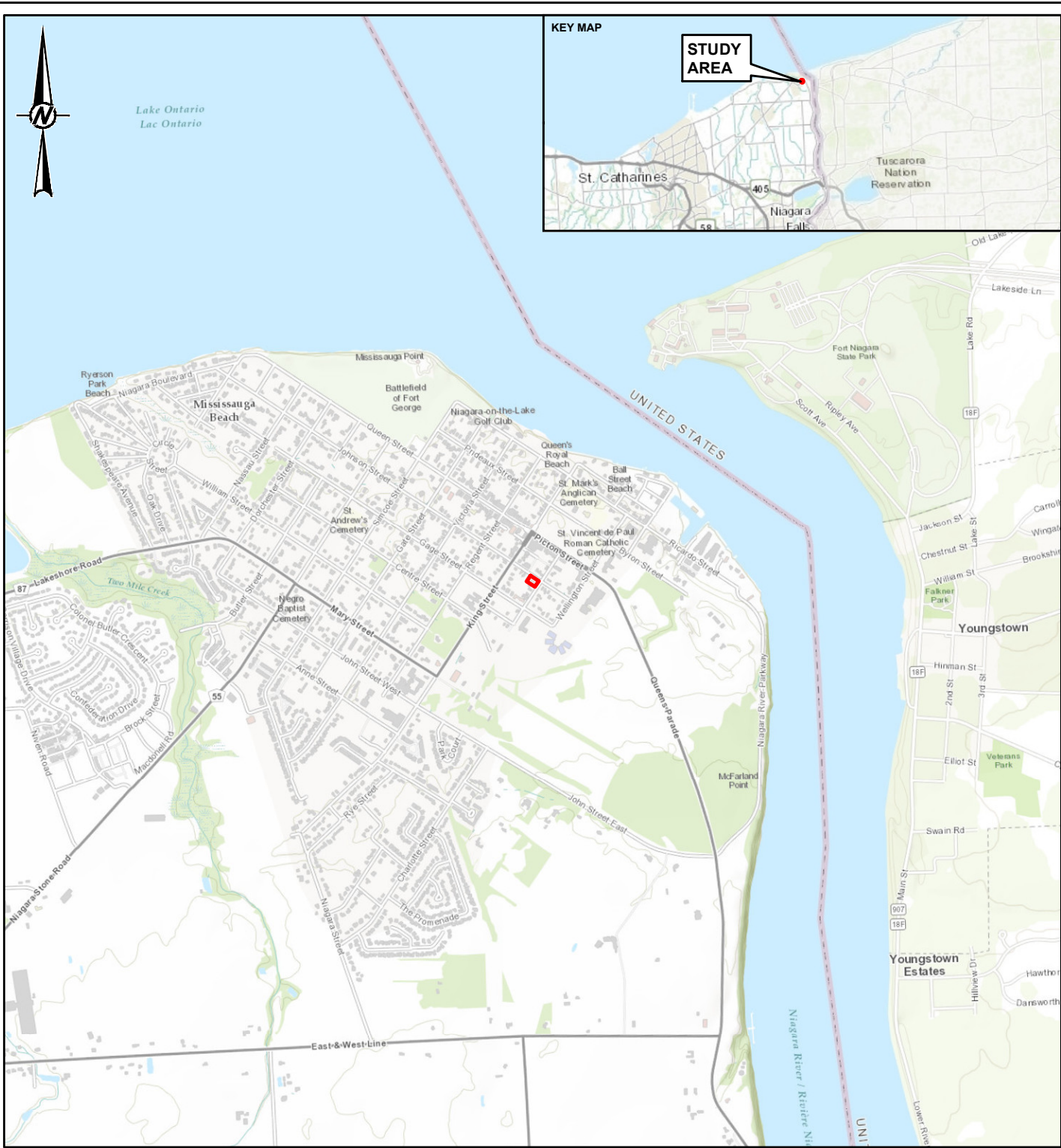
The property owner's contact information is as follows:

Pete Hill and Carrie Chan  
40 Platoff Street  
Niagara-on-the-Lake, ON L0S 1J0

This CHIA has been structured to adhere to the Town of Niagara-on-the-Lake's Draft *Heritage Impact Assessment Guidelines* (n.d.) and guidance provided in the Ministry of Citizenship and Multiculturalism's (MCM) *Ontario Heritage Tool Kit: Heritage Resources in Land Use Planning Process* (2006); the OHA; Section 2(d) of the *Planning Act*; and Section 2.6.3 of the *Provincial Policy Statement* (2020). This document will provide:

- A background on the project and introduction to the development site;
- A description of the methodology used to investigate and evaluate the subject property;
- A summary of background research and analysis related to the subject property;
- An assessment of exterior existing conditions;
- An evaluation of the subject property for Cultural Heritage Value or Interest (CHVI) and a Statement of Cultural Heritage Value or Interest and List of Heritage Attributes, if applicable;
- A description of the proposed development and a summary of potentially adverse impacts; and
- An assessment of alternative options, mitigation measures and conservation methods to be considered to avoid or limit negative impacts to the CHVI of the subject property.

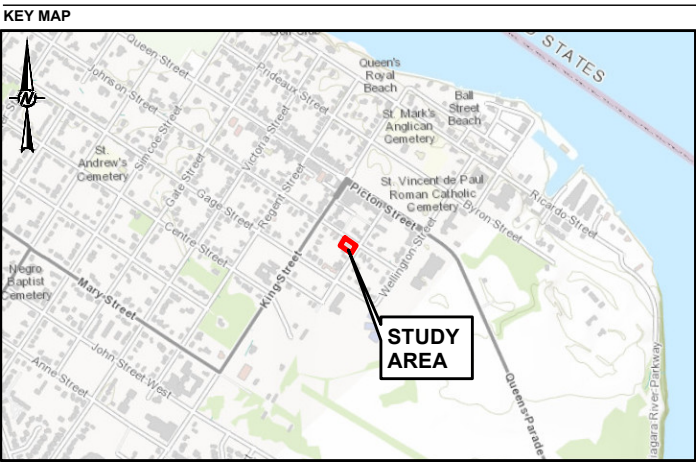
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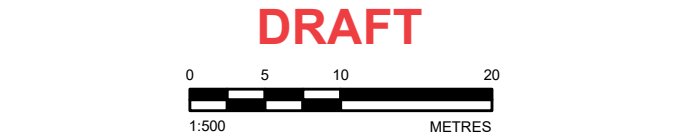
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- LEGEND**
- STUDY AREA
  - ROADWAY
  - TOPOGRAPHIC CONTOUR, metres



**NOTE(S)**

1. ALL LOCATIONS ARE APPROXIMATE

**REFERENCE(S)**

1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO  
2. IMAGERY CREDITS: SOURCES: ESRI, HERE, GARMIN, INTERMAP, INCREMENT P CORP., GEBCO, USGS, FAO, NPS, NRCAN, GEOBASE, IGN, KADASTER NL, ORDNANCE SURVEY, ESRI JAPAN, METI, ESRI CHINA (HONG KONG), (C) OPENSTREETMAP CONTRIBUTORS, AND THE GIS USER COMMUNITY  
3. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

**CLIENT**

PETE HILL AND CARRIE CHAN

**PROJECT**

HERITAGE IMPACT ASSESSMENT: 40 PLATOFF STREET, NIAGARA-ON-THE-LAKE

**TITLE**

LOCATION OF STUDY AREA ON AERIAL PHOTOGRAPH

	CONSULTANT	YYYY-MM-DD	2023-03-23
	DESIGNED	EG	
	PREPARED	BR	
	REVIEWED	---	
	APPROVED	---	

PROJECT NO.	CONTROL	REV.	FIGURE
231-01207-00	0001	A	2

IF THIS MEASUREMENT DOES NOT MATCH WHAT IS SHOWN, THE SHEET SIZE HAS BEEN MODIFIED FROM: ANSI B

25mm



# 2 POLICY FRAMEWORK

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## 2.1 UNITED NATIONS DECLARATION ON THE RIGHTS OF INDIGENOUS PEOPLES

On June 21<sup>st</sup>, 2021, the Canadian federal government enacted *United Nations Declaration on the Rights of Indigenous Peoples Act* and confirmed that the *United Nations Declaration on the Rights of Indigenous Peoples* (Declaration - 2007) “must be implemented in Canada.” As a result, Indigenous peoples in Canada are recognized as having unique rights, including those that pertain to the conservation of Indigenous heritage. As per Articles 11 and 31 of the Declaration:

11. 1) Indigenous peoples have the right to practice and revitalize their cultural traditions and customs. This includes the right to maintain, protect and develop the past, present and future manifestations of their cultures, such as archaeological and historical sites, artefacts, designs, ceremonies, technologies and visual and performing arts and literature.
31. 1) Indigenous peoples have the right to maintain, control, protect and develop their cultural heritage, traditional knowledge and traditional cultural expressions, as well as the manifestations of their sciences, technologies and cultures, including human and genetic resources, seeds, medicines, knowledge of the properties of fauna and flora, oral traditions, literatures, designs, sports and traditional games and visual and performing arts. They also have the right to maintain, control, protect and develop their intellectual property over such cultural heritage, traditional knowledge, and traditional cultural expressions.
  - 2) In conjunction with Indigenous peoples, States shall take effective measures to recognize and protect the exercise of these rights.

These rights to historical sites, ceremonies, cultural traditions, etc. (collectively understood as Indigenous heritage) are pertinent to the Environmental Assessment process through Articles 25 and 26 of the Declaration, which state that:

25. Indigenous peoples have the right to maintain and strengthen their distinctive spiritual relationship with their traditionally owned or otherwise occupied and used lands, territories, waters and coastal seas and other resources and to uphold their responsibilities to future generations in this regard.
26. 1) Indigenous peoples have the right to the lands, territories and resources which they have traditionally owned, occupied or otherwise used or acquired.
  - 2) Indigenous peoples have the right to own, use, develop and control the lands, territories and resources that they possess by reason of traditional ownership or other traditional occupation or use, as well as those which they have otherwise acquired.
  - 3) States shall give legal recognition and protection to these lands, territories and resources. Such recognition shall be conducted with due respect to the customs, traditions, and land tenure systems of the Indigenous peoples concerned.

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## 2.2 PLANNING ACT AND PROVINCIAL POLICY STATEMENT

The *Planning Act* (1990) and the *Provincial Policy Statement* (PPS) [Ministry of Municipal Affairs and Housing (MMAH), 2020] issued under Section 3 of the *Planning Act*, provide Ontario-wide policy direction on land use planning. All decisions affecting land use planning “shall be consistent with” the PPS, which identifies that properties and features demonstrating significant architectural, cultural, historical, archaeological, technical or scientific interest are of provincial interest and should be conserved.

The importance of identifying, evaluating and conserving built heritage resources and cultural heritage landscapes is noted in two sections of the PPS 2020:

- Section 2.6.1 – “Significant built heritage resources and significant heritage landscapes shall be conserved”; and,
- Section 2.6.3 – “Planning authorities shall not permit *development* and *site alteration* on *adjacent lands* to *protected heritage property* except where the proposed *development* and *site alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the *protected heritage property* will be *conserved*.”

The following concepts, as defined in the PPS, are fundamental to an understanding of the conservation of cultural heritage resources in Ontario:

**Built heritage resources** (BHR) are defined as “a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.”

**Conserved** is defined as “the identification, protection, management and use of *built heritage resources*, *cultural heritage landscapes* and *archaeological resources* in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.”

**Cultural heritage landscapes** (CHL) “means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.”

**Heritage attributes** “means the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property).”

**Significant** means “in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.”

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## 2.3 ONTARIO HERITAGE ACT

The OHA gives municipalities and the provincial government powers to preserve the heritage of Ontario, with a primary focus on protecting heritage properties and archaeological sites. The OHA grants authority to municipalities and the province to identify and designate properties of heritage significance, provide standards and guidelines for the preservation of heritage properties and enhance protection of heritage conservation districts, marine heritage sites and archaeological resources.

Properties can be designated individually (Part IV of the OHA) or as part of a larger group of properties, known as a Heritage Conservation District (Part V of the OHA). Designation offers protection for the properties under Sections 33 and 34 of the OHA, prohibiting the owner of a designated property from altering, demolishing or removing a building or structure on the property unless the owner applies to the council of the municipality and receives written consent to proceed with the alteration, demolition or removal.

In addition to designated properties, the OHA allows municipalities to list properties that are considered to have CHVI on their Register, which provides interim protection against demolition in the form of a 60-day delay in issuing a demolition permit. Under Part IV, Section 27, municipalities must maintain a Register of properties situated in the municipality that are of CHVI. Section 27 (1.1) states that the Register shall be kept by the Clerk and that it must list all designated properties (Part IV and V). Under Section 27 (1.2), the Register may include a property that has not been designated, but that the municipal council believes to possess CHVI. Listed properties, although recognized as having CHVI, are not protected under the OHA as designated properties are, but are acknowledged under Section 2 of the PPS (MMAH, 2020).

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## 2.4 ONTARIO REGULATION 9/06

The evaluation of cultural heritage resources is guided by Ontario Regulation 9/06 (O. Reg 9/06), which provides three principal criteria with nine sub-criteria for determining CHVI. The criteria set out in the regulation were developed to identify and evaluate properties for designation under the OHA. Best practices in evaluating properties that are not yet protected employ O. Reg. 9/06 to determine if they have CHVI. These criteria include: design or physical value, historical or associative value and contextual value.

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or

- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
- i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings, or
  - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

If a potential cultural heritage resources is found to meet any one of these criteria, it can then be considered an identified resource.

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## 2.5 MINISTRY OF TOURISM, CULTURE AND SPORT HERITAGE RESOURCES IN THE LAND USE PLANNING PROCESS

The MCM's *Heritage Resources in the Land Use Planning Process* (2006) identifies HIAs as an important tool to evaluate cultural heritage resources and to determine appropriate conservation options. The document identifies what an HIA should contain and any specific municipal requirements.

To determine the effect that a proposed development or site alteration may have on a significant cultural heritage resource, *Heritage Resources in the Land Use Planning Process* outlines seven potential negative or indirect impacts:

- **Destruction** of any, or part of any, significant heritage attributes or features;
- **Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- **Isolation** of a heritage attribute from its surrounding environment, context or a significant relationship;
- **Direct or indirect obstruction** of significant views or vistas within, from, or of built and natural features;
- **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances** such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.

The MCM's *Eight Guiding Principles in the Conservation of Historic Properties* (2007), provide guiding principles for the development of appropriate conservation or mitigation measures:

### 1. Respect for documentary evidence

Do not base restoration on conjecture. Conservation work should be based on historical documentation, such as historical photographs, drawings and physical evidence.

### 2. Respect for the original location



Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Any change in site diminishes heritage value considerably.

**3. Respect for historical material**

Repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historical content of the resource.

**4. Respect for original fabric**

Repair with like materials, to return the resource to its prior condition without altering its integrity.

**5. Respect for the building's history**

Do not restore to one period at the expense of another. Do not destroy later additions to a house solely to restore it to a single time period.

**6. Reversibility**

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. For instance, when a new door opening is put in a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

**7. Legibility**

New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.

**8. Maintenance**

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

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## 2.6 NIAGARA OFFICIAL PLAN

The Niagara Region *Official Plan* was created in the 1970s and has been updated several times since. It was consolidated in 2014. Relevant policies include those that detail cultural heritage conservation:

### 6.5.1 Cultural Heritage Resources

6.5.1.1 Significant cultural heritage resources shall be conserved in order to foster a sense of place and benefit communities, including First Nations and Métis communities.

6.5.1.2 The Region encourages Local Area Municipalities to designate properties of cultural heritage value or interest, either individually or as part of a larger area or Heritage Conservation District, under the Ontario Heritage Act

6.5.1.3 Local Area Municipalities shall advise the Region of properties of cultural heritage value or interest that have been designated or listed on the register under the Ontario Heritage Act.

6.5.1.4 Local Area Municipalities are encouraged to develop and use cultural master plans to inform decision-making.

- 6.5.1.5 Development and site alteration on protected heritage property or adjacent lands shall not be permitted, except where the proposed development and site alteration has been evaluated through a heritage impact assessment and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.
- 6.5.1.6 The Region shall maintain cultural asset mapping of fixed resources including cemeteries, designated or listed built heritage resources, historic sites, and the historic Welland Canal to assist in the review of development applications.
- 6.5.1.7 Local Area Municipalities are encouraged to consider the use of heritage impact assessment in conserving cultural heritage resources on a community planning basis.
- 6.5.1.8 The Region supports the Niagara Parks Commission in the continued identification and protection of cultural heritage resources including heritage structures, properties and cultural heritage landscapes along the Niagara River corridor.

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## 2.7 TOWN OF NIAGARA-ON-THE-LAKE OFFICIAL PLAN

The Town of Niagara-on-the-Lake *Official Plan* (2017) provides policies as they relate to the subject property in Sections 6.2, 6.4, and 18. The following policies provide guidance for development proposals that may impact cultural heritage resources.

### 6.2 Bed and Breakfast Homes

Bed and Breakfast Homes shall integrate compatibly into the residential and agricultural communities of the Town. They are also an important part of the local economy, in that they provide overnight accommodation through the use of existing housing stock as a secondary residential use to a dwelling. They are permitted in urban, rural and agricultural areas. In the rural and agricultural areas they may provide financial assistance to the operation of the farm while, at the same time, serving a tourist function, which assists in reducing the concentration of tourist accommodation in the urban areas.

A Bed and Breakfast means a residential use operated in an existing principal residence of the owner/operator and host, having up to three rented rooms and providing lodging and breakfast to overnight guests, but does not include hotels or motels. By limiting the number of rooms and other factors, such as parking and signage, B & Bs will remain compatible in a residential neighbourhood as accessory uses to single detached dwellings, ensuring that the character of the dwelling and the neighbourhood is maintained.

The existence of Bed and Breakfast homes in designated heritage residential dwellings, or those that have potential for designation, could contribute to the preservation of their heritage character and provide financial support for the ongoing maintenance of the heritage features of the property. Council wishes to encourage the conservation of heritage buildings and supports the use of heritage properties as Bed & Breakfast Homes.

In 1996, the Town completed a study of Bed & Breakfast accommodation and concluded that the limit of three bedrooms, or a maximum occupancy load of 10 persons, was best suited as the upper limit for a Bed & Breakfast, as an accessory use to a single detached dwelling”

## **6.4 Building Height Restrictions**

The Town of Niagara-on-the-Lake consists of low-rise structures in a small-town setting with a large number of historic buildings. Generally, the building height has not exceeded 11 metres (36 feet). For the most part this low-rise character should be maintained and the implementing zoning by-law should limit building height accordingly. Special provisions may also be included in the implementing zoning by-law limiting the building height to less than 11 metres (36 feet) in low density residential, and established residential areas where the majority of the buildings are one or one-and-a-half storeys in height.

## **Section 18: Heritage Conservation**

### **18.1 Background**

The Town of Niagara-on-the-Lake is one of Ontario's oldest communities. The area was settled at the close of the American Revolution by Loyalists and Niagara-on-the-Lake has a long and distinguished history which parallels the growth of the Province.

The designation of Niagara/Old Town, as the first capital of the newly created Province of Upper Canada in 1791 was the chief contributing factor to its early growth. The Town (then known as Newark) was the capital of Upper Canada from 1792 to 1797 before the seat of central government was moved to York.

The burning of the Town by the Americans on December 10, 1813 during the War of 1812 left Niagara/Old Town in ruins. The townspeople rebuilt, despite the objections of the government and the community flourished until the opening of the second Welland Canal in the 1840s and the subsequent increasing importance of St. Catharines as a commercial centre.

Queenston also has historical connections with the beginning of Upper Canada. Queenston was the home of Robert Hamilton, William Lyon Mackenzie and Laura Secord and was the site of the Battle of Queenston Heights where General Brock, commander of the British forces was killed.

In recent times, a great deal of concern has been expressed by many people over the preservation of the heritage resources located throughout the Town of Niagara-on-the-Lake. In the selection and evaluation of areas within the Town of Niagara-on-the-Lake as potential Heritage Conservation Districts, the facts themselves constitute ample justification for any plan of preservation or restoration.

Within the Town of Niagara-on-the-Lake, there are areas which have certain unique or distinctive characteristics which cannot be attributed solely to a collection of individual buildings of the same or related periods. These characteristics are difficult to isolate apart from the special air or atmosphere the street exhibits, they are, for the most part, intangible qualities. Nonetheless, these intangibles combine to produce a strong cumulative effect which, together with the distinct and intact legacy of original nineteenth Century buildings, creates a valuable historic character.

The Town's heritage resources include archaeological sites: buildings and structural remains of historical, architectural and contextual value; and rural, village and urban districts or landscapes of historic or scenic interest and that such heritage resources are to be managed in a responsible manner.

## **18.2 Goals and Objectives**

- (1) To protect, preserve and encourage the restoration of the original architectural detail wherever feasible on all buildings having architectural and historical merit within the context of the Town of Niagara-on-the-Lake, as well as on all buildings contributing towards the heritage value of the Town of Niagara-on-the-Lake.
- (2) To encourage good contemporary building design by using sympathetic forms while avoiding simply copying historic architecture. To restrict building design that is not compatible with existing structures or unsympathetic alterations to buildings that would detract from the character of a Heritage Resource. Where lands or buildings have been designated pursuant to the Ontario Heritage Act the provisions of that Act regarding buildings and additions shall apply. In the Queen-Picton Heritage Conservation District the design of new buildings and structures shall also be subject to the requirements of the Queen-Picton Street Heritage District Plan.
- (3) To prevent the demolition, destruction or inappropriate alteration or use of heritage resources.
- (4) To encourage appropriate character and uses adjacent to heritage resources in those areas designated as Heritage Conservation Districts.
- (5) To develop and encourage creative, appropriate and economically viable uses of heritage resources.
- (6) To support and encourage the voluntary designation of historic buildings and structures.
- (7) To recognize the importance of archaeological sites within the municipality that represent the physical remains of a lengthy settlement history and a fragile non-renewable cultural legacy.

## **18.3 Heritage Policies**

### **(1) Criteria and Guidelines**

A set of criteria has been established for the selection of sites, structures, buildings, areas and environments of heritage significance. The basis for selection are tied to the historical and architectural development of the Town of Niagara-on-the-Lake. Criteria are also included to address new development proposals in the municipality.

### **(2) Criteria for Heritage Districts**

A detailed heritage Conservation District Plan shall be prepared for all areas which are to be designated as Heritage Conservation Districts as was the case in the Queen-Picton Area. The Plan shall contain the location, historical or architectural significance of the area in the development of the community, and justification for the designation of the District. The following criteria should be considered by Council and the Local Architectural Conservation Advisory Committee (LACAC) when measuring the historical or architectural heritage of a proposed District.

- a) The area may contain other notable physical, environmental and aesthetic characteristics which in themselves may or may not constitute sufficient grounds for the designation of a District, but which lend support when evaluating the criteria for designation.

- b) The District may be in an area surrounding several individually designated buildings, sites and structures, or a more extensive area such as a neighborhood or several urban blocks. Buildings should reflect an aspect of the historical heritage of a community by nature of its historical location and significance of setting.
- c) Buildings should exhibit an architectural style of construction which is significant historically or architecturally to the community, Province or country.
- d) The boundaries should be clearly defined factors such as changes in land use, building or environmental character, topography or traffic corridor.

### **(3) Criteria for Individual Buildings**

Council and LACAC shall consider the following criteria when evaluating individual buildings for designation under The Ontario Heritage Act. The buildings so designated should interpret the Town's heritage through architectural merit and/or historical association.

- a) Has the building been associated with the life of an historic personage or has it played a role in an important historic event.
- b) Does the building embody the distinguishing characteristics of an architectural type recognized for its style or period of construction, or is it a notable example of workmanship by an early master builder, designer or significant architect.
- c) Does the building or building type have special significance in that it forms an integral component of a particular neighborhood character within the community.
- d) The potential for illustrating the heritage value should be such that it will be possible for visitors to gain from the building an appreciation for the architecture or history with which it is associated.
- e) In considering the designation of a building, the extent of the original materials and workmanship remaining should be important to that designation.
- f) Intangible elements such as feeling, association and aesthetics shall be considered as well as the physical appearance of buildings or structures.
- g) Architectural character should be considered on the basis of style, plan and sequence of spaces, uses of materials and surface treatment and other details including windows, doors, lights, signs and other fixtures of such buildings and the relation of such factors to similar features of the buildings in the immediate surroundings.

## **18.4 General Heritage Conservation Policies**

- (1) To assist in the program for preservation of the Town's heritage, Council has under Section 28 of The *Ontario Heritage Act*, established a "Local Architectural Conservation Advisory Committee" (LACAC). Members of this Committee are to be selected from local organizations, historical groups, architectural societies, interested individuals and other appropriate bodies in order to provide a combination of diverse skills and interests. The Committee's primary purpose shall be to advise and assist Council on all specified matters relating to the Ontario Heritage Act. The committee may also be responsible for other special heritage concerns of the Town as requested by Council.
- (2) It shall be the policy of Council to encourage the preservation of buildings and sites having historical and/or architectural values.



- (3) Council shall identify and maintain a list of possible heritage properties. This list will be the basis for preservation, restoration and utilization of heritage resources.
- (4) Council shall designate and regulate heritage resources under appropriate legislation, including *The Ontario Heritage Act*, the *Planning Act* and *The Municipal Act*, whenever deemed feasible.
- (5) Council shall exercise its legislative authority to control the alteration or demolition of heritage. Where Council has through by-laws designated individual buildings or districts under *The Ontario Heritage Act*, and established an area of Demolition Control under Section 33 of the *Planning Act*, 1983, no person shall demolish the whole or any part of the designated property or property in a designated area, or alter or make additional to a designated property or property in a designated area, without first receiving a permit issued by Council.
- (6) Council, with the advice of LACAC, will regulate and guide alterations and additions to heritage resources. Council may also request comments from LACAC for any development within a Heritage District, proposed expansion area or where it is believed that a development may impact on heritage resources.
- (7) Council will develop a Property Standards By-law to meet the needs of heritage, as legislation permits.
- (8) If necessary, Council will acquire, restore and appropriately manage heritage property on a selective basis.
- (9) It shall be the policy of Council to seek the acquisition of easements on properties of architectural or historical significance in order to assure the preservation of these properties.
- (10) Council will support application for funds through various senior governmental programs to assist individual property owners with building improvements.
- (11) Council will undertake heritage plans and programs in accordance with the following system of priorities:
  - a) The protection of heritage areas.
  - b) The stimulation and utilization of heritage by the public.
  - c) Selective restoration and rehabilitation of heritage by the Town.
- (12) Council, to the best of its ability, will restore, rehabilitate, enhance and maintain Town-owned heritage properties in fulfillment of the heritage objectives and policies.
- (13) Council shall coordinate its heritage plans and programs with heritage plans and programs of the senior levels of government in an effort to avoid duplication of effort to reinforce mutual objectives.

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## 2.8 HISTORIC OLD TOWN HERITAGE CONSERVATION DISTRICT PLAN

The following information has been extracted from the Historic Old Town HCD Plan (Town of Niagara-on-the-Lake, 2016 b). The goal of the district plan is meant to guide change so that change enhances the district's cultural heritage landscape character and honours its history.

### 2.6.1 Physical Goals

- To achieve a cohesive, well-designed district that emphasizes the human scale and historic character of the streetscape;
- To ensure the conservation and enhancement of the heritage attributes and distinguishing qualities of significant heritage buildings;
- To facilitate the restoration of significant heritage buildings and properties based on clear archival, pictorial and physical evidence;
- To promote retention and reuse of significant heritage buildings and properties;
- To take exceptional measures to prevent the demolition of significant heritage buildings;
- To retain or enhance the complementary character of contributing buildings;
- To discourage the demolition of contributing buildings;
- To guide the construction of new buildings which are of good design and are compatible with the District;
- To encourage improvements to other buildings and properties to further enhance the District's heritage character.

### 2.6.3 Community Goals

- To foster community support, pride and appreciation of the heritage buildings, landscapes and District character and promote the need to conserve these resources for future generations;
- To facilitate public participation and involvement in the conservation of heritage resources and development of the District;
- To enhance the District as a place to live in as well as a place to shop and work.

### 2.6.4 Economic Goals

- To maintain and enhance Queen and Picton Streets as a progressive, profitable commercial district;
- To continue to develop policies and guidelines to improve parking and traffic problems and to mitigate their negative effects on the residential area;
- To use building stock in the commercial area in a full and profitable manner;

- To provide incentives and assistance to property owners to enable them to conserve and restore their properties;
- To acknowledge that the District is an asset that can be leveraged and celebrated in order to contribute to the greater economic success of the Town.

#### **4.0 Introduction**

The Old Town Historic District is of unparalleled heritage value, worthy of long term conservation. As one of the earliest Anglo-Canadian settlements in the Province, the Town has a wealth of heritage resources, a rich history and a recognizable heritage character. This heritage character is enhanced by significant building stock, residential and commercial streetscapes, plantings, fencing, open spaces and views and vistas.

The District comprises two types of streetscape. The historic business area, fronting Queen and Picton Streets is tightly built up and forms a varied continuous façade of buildings with a variety of age, size and style and a similar mass. Most of the buildings are set close to the sidewalk, though a few are set back to provide some breathing space on the street.

The residential area is a loose visual composition of detached residences set amid gardens and trees. Wide boulevards, predominantly soft shoulders, well-used sidewalks, picket fences and widely spaced buildings with varied setbacks are characteristic of this area and create a “countryesque” feeling.

The Plan and its policies are intended to conserve this special sense of place while anticipating change. Significant and Contributing buildings will be restored, reused and added to. Other buildings will be altered and buildings will be constructed to enhance the District character. The purpose of this Plan is to ensure that alterations are complementary to both the individual heritage resources and the overall heritage character of the District.

To conserve and enhance the heritage character of the District, policies for the following have been developed.

- Significant properties
- Contributing properties
- Other properties
- New construction
- Landscapes and Streetscapes

The policies are supported by illustrated guidelines found in Part IV of this Plan. The Old Town Historic District Plan will not address every possible situation. The policies and guidelines reflect the basic principles that the Town wants to achieve. Issues that arise over time which are not addressed in this Plan will be considered by Council and the MHC and may result in amendments to this document.

#### **5.1 Conservation of Significant Properties**

The cultural heritage value of the Significant properties in the Old Town Historic District is integral to the District's character. They are also valuable in their own right. Significant properties can be commercial; institutional, such as churches and schools; residential; or open spaces, such as parks. The retention of these properties and the buildings located on them is essential to maintain the character and cultural

heritage value of the area. Therefore, the intent is to conserve these resources, prevent their demolition and, if necessary, take extraordinary measures to ensure their protection.

- a) Conserve the property, and in particular, heritage resources on the property, in their original form with a minimum of further changes. Do not remove, replace, or substantially alter intact or repairable heritage attributes.
- b) b) Conserve changes to a heritage resource which, over time, have become heritage resources in their own right.
- c) Adopt an approach of minimal intervention.
- d) If intervention is required, evaluate the existing condition of the heritage attribute and use the gentlest means possible for any intervention.
- e) Maintain heritage attributes on an ongoing basis to avoid major conservation projects and associated costs.
- f) Repair, rather than replace, heritage attributes such as windows, shutters and trim using appropriate conservation methods. Repair historical or original materials with like materials. If replacement is necessary, use like materials. Emphasis will be placed on natural materials such as clay brick, stone and wood as opposed to metals and plastic.
- g) Replace missing parts of heritage attributes with like materials.
- h) Respect documentary evidence when conserving a heritage resource. Where there is insufficient evidence, it may be appropriate to make the design, form, material and detailing of a new feature or element compatible with the character of the heritage resource.

## **5.2 Alterations and Additions to Significant Properties**

- a) Conserve the heritage value and attributes of a heritage resource when constructing a new addition or any related new construction such as an accessory structure. The new work will be physically and visually compatible with, subordinate to, and distinguishable from the heritage resource.
- b) Alterations and additions to the heritage resource shall conform to the guidelines found in Part IV.<sup>2</sup>

## **16.3 Severances and Minor Variances**

In addition to matters addressed under the *Planning Act*, the Committee of Adjustment, consults with appropriate Town departments and agencies and has regard for adjacent use, access considerations and availability of services. 30 In commenting to the Committee of Adjustment on applications for severance or minor variance in the District, the Town will only support such applications if the proposal is compatible with the objectives and policies of the District Plan.

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<sup>2</sup> The Town of Niagara-on-the-Lake Heritage Planner was contacted on February 22, 2023, requesting the Design Guidelines in Part IV of the HCD Plan. A response was received on March 1, indicating no designs guidelines have been completed for Old Town beyond what is in the Town's *Official Plan*.

**Policies:**

- a) Each severance and minor variance application will be evaluated as to its compatibility with the objectives and policies of the District Plan.

# 3 PROJECT METHODOLOGY

A CHIA evaluates the proposed impact of development on the heritage attributes of a property of potential CHVI. This CHIA is guided by the MCM *Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process*; the OHA; Section 2(d) of the *Planning Act*; Section 2.6.3 of the PPS, and the Town of Niagara-on-the-Lake *Draft Heritage Impact Assessment Guidelines* (n.d.).

To address the requirements of a CHIA, this report provides the following information:

- A summary of the history of the immediate context informed by a review of archival sources and historical maps;
- Exterior photographic documentation of the subject property, project location, and context;
- A written description of the existing conditions and context of the subject property;
- An evaluation of the subject property according to O. Reg. 9/06;
- Preparation of a Statement of Cultural Heritage Value or Interest and List of Heritage Attributes, if applicable;
- A review of the proposed intervention;
- Identification of impacts;
- The identification and analysis of mitigation opportunities, as required;
- The preferred strategy recommended to best protect and enhance the CHVI and heritage attributes of the cultural heritage resource; and
- A summary statement and conservation recommendations.

# 4 HISTORICAL CONTEXT

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## 4.1 PRE-EUROPEAN CONTACT PERIOD

The pre-contact period in Ontario has been reconstructed, primarily, from the archaeological record and interpretations made by archaeologists through an examination of material culture and site settlement patterns. Technological and temporal divisions of the pre-contact period have been defined by archaeologists based on changes to natural, cultural, and political environments that are observable in the archaeological record. It is pertinent to state that although these divisions provide a generalized framework for understanding the broader events of the pre-contact period, they are not an accurate reflection of the fluidity and intricacies of cultural practices that spanned thousands of years. The following sections present a sequence of Indigenous land-use during periods defined by archaeologists from the earliest human occupation of Ontario following deglaciation to the period when Europeans began to settle the land. These periods are:

- The Paleo Period
- The Archaic Period
- The Woodland Period
- The Post-Contact Period

### Paleo Period

Paleo period populations were the first to occupy what is now Southern Ontario, moving into the region following the retreat of the Laurentide Ice Sheet approximately 11,000 years before present (BP). The first Paleo period populations to occupy Southern Ontario are referred to by archaeologists as Early Paleo (Ellis & Deller, 1990).

Early Paleo period groups are identified by their distinctive projectile point morphological types, exhibiting long grooves, or 'flutes', that likely functioned as a hafting mechanism (method of attaching the point to a wooden shaft). These Early Paleo group projectile point types include Gainey (ca. 10,900 BP), Barnes (ca. 10,700), and Crowfield (ca. 10,500) (Ellis & Deller, 1990). By approximately 10,400 BP, Paleo projectile points transitioned to various unfluted varieties, such as Holcombe (ca. 10,300 BP), Hi Lo (ca. 10,100 BP), and Unstemmed and Stemmed Lanceolate (ca. 10,400 to 9,500 BP). These tool types were used by Late Paleo period groups (Ellis & Deller, 1990). Both Early and Late Paleo period populations were highly mobile, participating in the hunting of large game animals. Paleo period sites often functioned as small campsites where stone tool production and maintenance occurred (Ellis & Deller, 1990).

### Archaic Period

By approximately 8,000 BP, climatic warming supported the growth of deciduous forests in Southern Ontario. These forests introduced new flora and faunal resources, which resulted in subsistence shifts and a number of cultural adaptations. This change is reflected in the archaeological record by new tool-kits that are reflective of a shift in subsistence strategies and has been categorized as the Archaic period.

The Archaic period in Southern Ontario is sub-divided into the Early Archaic (ca. 10,000 to 8,000 BP), Middle Archaic (ca. 8,000 to 4,500 BP), and the Late Archaic (ca. 4,500 to 2,800 BP) periods. Generally, in North America, the Archaic period represents a transition from big game hunting to broader, more generalized

subsistence strategies based on local resource availability. This period is characterized by the following traits:

- An increase in stone tool variation and reliance on local stone sources,
- The emergence of notched and stemmed projectile point types,
- A reduction in extensively flaked tools,
- The use of native copper,
- The use of bone tools for hooks, gorges, and harpoons,
- An increase in extensive trade networks, and
- The production of ground stone tools and an increase in larger, less portable tools.

The Archaic period is also marked by population growth with archaeological evidence suggesting that, by the end of the Middle Archaic period (ca. 4,500 BP), populations had steadily increased in size (Ellis, et al., 1990).

Over the course of the Archaic period, populations began to rely on more localized hunting and gathering territories and were shifting to more seasonal encampments. From the spring into the fall, settlements were focused in lakeshore/riverine locations where a variety of different resources could be exploited. Settlement in the late fall and winter months moved to interior sites where the focus shifted to deer hunting and the foraging of wild plants (Ellis et al., 1990, p. 114). The steady increase in population size and the adoption of a more localized seasonal subsistence strategy led to the transition into the Woodland period.

### Early And Middle Woodland Periods

The beginning of the Woodland period is defined by the emergence of ceramic technology. Similar to the Archaic period, the Woodland period is separated into three timeframes: the Early Woodland (ca. 2,800 to 2,000 BP), the Middle Woodland (ca. 2,000 to 1,200 BP), and the Late Woodland (ca. 1,200 to 350 BP) (Spence et al., 1990; Fox, 1990).

The Early Woodland period is represented in Southern Ontario by two cultural complexes: the Meadowood Complex (ca. 2,900 to 2,500 BP), and the Middlesex Complex (ca. 2,500 to 2,000 BP). During this period, the life ways of Early Woodland populations differed little from that of the Late Archaic with hunting and gathering representing the primary subsistence strategies. The pottery of this period is characterized by its relatively crude construction and lack of decoration. These early ceramics exhibit cord impressions, which are likely the result of the techniques used during manufacture rather than decoration (Spence et al., 1990). The Middle Woodland period has been differentiated from the Early Woodland period by changes in lithic tool forms (e.g. projectile points, expedient tools), and the increased decorative elaboration of ceramic vessels (Spence et al., 1990). Additionally, archaeological evidence suggests the rudimentary use of maize (corn) horticulture by the end of the Middle Woodland Period (Warrick, 2000).

In Southern Ontario, the Middle Woodland has been divided into three different complexes based on regional cultural traditions: the Point Peninsula Complex, the Couture Complex, and the Saugeen Complex. These groups are differentiated by sets of characteristics that are unique to regions within the province, specifically regarding ceramic decorations.

The Point Peninsula Complex extends from south-central and eastern Ontario into southern Quebec. The northernmost borders of the complex can be found along the Mattawa and French Rivers. Ceramics are coil constructed with conical bases, outflaring rims, and flat, rounded, or pointed lips. The interior surfaces of vessels are often channelled with a comb-like implement, creating horizontal striations throughout. The



exterior is smoothed, or brushed, and decoration generally includes pseudo-scallop stamps or dentate impressions. Occasionally, ceramics will have been treated with a red ochre wash (Spence et al, 1990). The Saugeen Complex is found generally in south-central Ontario and along the eastern shores of Lake Huron. The Saugeen Complex ceramics are similar in style to Point Peninsula Complex; however, the vessels tended to be cruder than their Point Peninsula counterparts. They were characterized by coil construction with thick walls, wide necks, and poorly defined shoulders. Usually, the majority of the vessel was decorated with pseudo-scallop stamps or dentate impressions, with the latter occurring more frequently at later dates (Spence et al., 1990). The Couture Complex is found in southwestern Ontario and outside of the scope of the study area.

### Late Woodland Period

There is much debate as to whether a transitional phase between the Middle and Late Woodland periods is present in Southern Ontario, but it is generally agreed that the Late Woodland period begins around 1,100 BP. The Late Woodland period in Southern Ontario can be divided into three cultural sub-phases: The early, middle, and late Late Woodland periods. The early Late Woodland is characterized by the Glen Meyer and Pickering cultures and the middle Late Woodland is characterized by the Uren and Middleport cultures. These groups are ancestral to the Iroquoian-speaking Neutral-Erie (Neutral), the Huron-Wendat (Huron), and Petun Nations that inhabited Southern Ontario during the late Late Woodland period (Smith, 1990, p. 285). The Pickering and Glen Meyer cultures co-existed within Southern Ontario during the early Late Woodland period (ca. 1250-700 BP). Pickering territory is understood to encompass the area north of Lake Ontario to Georgian Bay and Lake Nipissing (Williamson, 1990). Glen Meyer is centred around Oxford and Norfolk counties, but also includes the southeastern Huron basin and the western extent is demarcated by the Ekfrid Clay Plain southwest of London, Ontario (Noble, 1975). Villages of either tradition were generally smaller in size (~1 ha) and composed of smaller oval structures, which were later replaced by larger structures later in the Late Woodland period. Archaeological evidence suggested a mixed economy where hunting and gathering played an important role, but small-scale horticulture was present, indicating a gradual shift from hunting-gathering to a horticultural economy (Williamson, 1990).

The first half of the middle Late Woodland period is represented by the Uren culture (700-650 BP) and the second half by the Middleport (650-600 BP). Uren and Middleport sites of the middle Late Woodland share a similar distribution pattern across much of southwestern and south-central Ontario. (Dodd et al., 1990). Significant changes in material culture and settlement-subsistence patterns are noted during this short time. Iroquois Linear, Ontario Horizontal, and Ontario Oblique pottery types are the most well-represented ceramic assemblages of the middle Late Woodland period (Dodd et al., 1990). At Middleport sites, material culture changes included an increase in the manufacture and use of clay pipes as well as bone tools and adornments (Dodd et al., 1990; Ferris & Spence, 1995).

During this period, evidence in the archaeological record of small year-round villages, secondary ossuary burials, and what are thought to be semi-subterranean sweat lodges suggest a marked increase in sedentism in Southern Ontario during the Uren and Middleport cultures (Ferris & Spence, 1995). The increasing permanency of settlements was a result of the development of small-scale cultivation and a subsequent increased reliance on staple crops such as maize, beans, and squash (Dodd et al., 1990; Warrick, 2000; Ferris & Spence, 1995).

Archaeological evidence from the middle Late Woodland sites also documents increases in population size, community organization and village fissioning, and the expansion of trade networks. The development of trade networks with northern Algonquian peoples has also been inferred from findings at Middleport sites along the northern parts of southwestern and south-central Ontario. These changes resulted in the more organized and complex social structures observed in the late Late Woodland period.

During the late Late Woodland period, village size significantly increased as did the complexity of community and political systems. The settlement patterns of the period can be categorized into three types: large village sites, smaller hamlets or cabin sites, and special resource extraction sites. The larger villages and smaller hamlets are typically on small creeks with sandy soils suitable for agriculture. Both larger village and small hamlet sites were both typically surrounded by palisades and activities were focused on subsistence (Lennox & Fitzgerald, 1990, p. 441). Larger longhouses oriented differently than others in the village have been associated with primary familial groups, while longhouses that were located outside of palisade walls may have been for visiting groups for the purposes of trade or social gatherings (Ramsden, 1990). The cabin sites were occupied on a more seasonal basis and typically only had one or two longhouses. By this time, large-scale agriculture had taken hold, making year-round villages even more practical with the improved ability to store large crop yields over winter.

The villages in this part of Southern Ontario were occupied by peoples that Champlain called the Neutral in 1615. They were given this name as they did not participate in the conflicts between the Huron and the Haudenosaunee (Lennox & Fitzgerald, 1990, p. 405). They were known as the “Attawandaron” by the Huron, meaning “the people of a slightly different language.” The distribution of ancestral Neutral sites reached from just past the Niagara River to the Detroit River and from Lake Erie in the south with London and Milton representing the northern boundaries. Despite the wide distribution, settlements were primarily concentrated along key riverine/lacustrine areas in the fifteenth century: the Niagara Peninsula, the Grand River and the rivers to the northeast (Spencer, Bronte and Sixteen Mile Creeks), and the Thames River and shoreline of Lake Erie (Lennox & Fitzgerald, 1990, p. 405). By the late sixteenth and early seventeenth century, the settlement patterns of the Neutral had retracted to the east with concentrations largely centered on the Niagara Peninsula. Populations also continued along Spencer, Bronte and Sixteen Mile Creeks in what is now the Milton and Oakville area (Lennox & Fitzgerald, 1990, p. 411).

In terms of material culture, projectile point types of the Neutral are typically long, narrow isosceles triangles with side notching, though there is generally great variation and not all are side notched. Forms included Middleport Triangular, Middleport Notched, Nanticoke Triangular, and Nanticoke Notched in the fifteenth and sixteenth centuries with Daniels Triangular, and Hamilton Serrated in the seventeenth (Lennox & Fitzgerald, 1990, p. 419-421). Ceramics evolved from the slightly elongated globular form of the Middleport sub phase to a more globular to squat-globular form frequently with castellations in the fifteenth century. Common decorations during this time included Ontario Horizontal and Pound Necked incised, stamped or trailed motifs which became simpler over time.

Early contact with European settlers at the end of the Late Woodland period resulted in extensive changes to the traditional lifestyles of most populations inhabiting Ontario including settlement size, population distribution, and material culture. The introduction of European-borne diseases significantly increased mortality rates, resulting in a drastic drop in population size (Warrick, 2000).

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## 4.2 POST-CONTACT PERIOD

The post-contact occupation of Southern Ontario was heavily influenced by the dispersal of the Huron, Petun, and Neutral. This was followed by the return of Algonkian speaking groups from northern Ontario. The study area is located on the land of the Haudenosaunee and Anishinaabe. The Mississaugas of the Credit First Nation later participated in many of the treaties that would establish the foundation of Euro-Canadian settlement in much of Southern Ontario. Many of these treaties were established following the end of the American Revolution in 1783 as many 'United Empire Loyalists' began to move northwards into present-day Southern Ontario, creating a greater demand for land for Euro-Canadian settlement (Ferris & Spence, 1995). Prior to the establishment of the 18th century treaties, in 1613, Dutch settlers began to arrive and settle on the land of the Haudenosaunee. To accommodate settlement, the Haudenosaunee and the Dutch established the Two Row Wampum Treaty, the earliest agreement established between European settlers and Indigenous peoples. This agreement outlined how all would treat each other and live together through friendship and peace (Onondaga Nation, n.d.).

Quoted from the paper entitled "On Treaty-making", Onondaga Nation Chief Irving Powless Jr. describes the important and context of the Two Row Wampum:

In the 1600s, when the Dutch had settled in what is now Albany and the surrounding area, we were looking at them as people who were coming into our territory with a different language, different culture, different ideas, but a people. Runners came from the Mohawk territory. They came to Onondaga to ask Tadodaho to call a meeting of the leaders of the Haudenosaunee, because we had people coming into our territory. We must decide how we are going to live together with the people who had entered our house and were living in a couple of our empty rooms. They were uninvited and they were destructive.....

Under the protocol set up by the Peacemaker, some delegates were chosen, they went to Albany to meet with the leaders of the Dutch to discuss our concerns. After a time our leaders struck an agreement with the Dutch people, an agreement whereas they would live together in peace.

Our leaders informed the Dutch people. "From this day forward we will refer to each other as brothers." The Dutch agreed that this would be how we would conduct ourselves and greet each other from that day forward as brothers. The Dutch said to us, "We have pencils and paper, and so we will record this event on a piece of paper."

We said, "That's fine for you." When the Haudenosaunee was formed, we were provided with a process to record events. This process is the use of wampum beads, which are made out of quahog shells.....In the center of the shell it is purple. So we were given a process at that time to make beads...These beads were then white and purple.

We use these beads for identification, as carriers of messages, and as records of events.....We then informed the Dutch people that we would put our record of this event in a wampum belt.

"We think that in the future, there will come a time when you will not have your piece of paper, But we will still have our belt. Because we are meeting for the health and welfare of our people, we should make sure that this agreement lasts a long time, like forever."

"Forever" is described by our ancestors in this agreement in the following words: "As long as the grass is green, as long as the water flows downhill, and as long as the

sun rises in the east and sets in the west.” This is the first place that these words were spoken. Subsequently, you hear them in movies, you hear them in various places. The United States used these actual words in some treaties that were made in the 1800s. But they were first spoken here by the Haudenosaunee to show that we would make this treaty last forever. We did not think that your paper would survive the times.

Today the sun still sets in the west, just like it did in the 1600s. So that hasn't changed. The grass is still green. Next to my house there is a creek, and its water runs downhill. That agreement that we made back then is still in effect as far as we are concerned.

...The first agreement between the Haudenosaunee and the Europeans who were coming into our country was completed and recorded by the Haudenosaunee. It is called Guswentá, the Two Row Wampum belt...

This is an agreement between our two peoples. This agreement is still in effect because the grass is still green. This was the grandfather of all the treaties, this was the first one that we made. A very important concept was expressed at this time, that concept being that we were equal. At this time the Haudenosaunee was a very powerful, powerful people. We realized that you were a young people, that you were just learning, yet we realized that you were equal. This is a very important issue. You must understand the concept: we recognized you as people and that we were equal.

The Two Row Wampum belt is made of white and purple beads. The white beads denote truth. Our record says that one purple row of beads represents a sailboat. In the sailboat are the Europeans, their leaders, their government, and their religion. The other purple row of beads represents a canoe. In the canoe are the Native Americans, their leaders, their governments, and their Way of Life, or religion as you say it. We shall travel down the road of life, parallel to each other and never merging with each other.

In between the two rows of purple beads are three rows of white beads. The first row of white beads is “peace,” the second row, “friendship,” and the third row, “forever.” As we travel down the road of life together in peace and harmony, not only with each other, but with the whole circle of life—the animals, the birds, the fish, the water, the plants, the grass, the trees, the stars, the moon, and the thunder—we shall live together in peace and harmony, respecting all those elements. As we travel the road of life, because we have different ways and different concepts, we shall not pass laws governing the other. We shall not pass laws telling you what to do. You shall not pass a law telling me and my people what to do.

Chief Irving Powless Jr., Treaty Making, pp. 15-34

The study area falls within the boundaries of the subsequent Niagara Purchase (Treaty No. 381), which was signed between certain Anishinaabe peoples and representatives of the Crown on May 9, 1781. This included an approximately 6.4 kilometer (km) strip of land on the west side of the Niagara River. The Niagara Purchase Treaty was signed during the American Revolution and was one of the first land acquisitions in what would later become Upper Canada (Government of Ontario, n.d.). Current communities found within the boundaries of the Niagara Purchase include Niagara Falls, Niagara-on-the-Lake, and Fort Erie.

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#### 4.2.1 LINCOLN COUNTY

Lincoln County was first settled as early as 1784 in the area around Niagara Falls. This was followed by settlement along the shores of Lakes Erie, Lake Ontario, and the numerous rivers throughout the county. As roadways were surveyed and developed, settlement increasingly moved inland. In 1788, the Governor

General of Canada issued a proclamation establishing districts across Upper Canada. The land of future Lincoln County was under the jurisdiction of the Nassau District. In 1791, John Graves Simcoe was appointed Lieutenant Governor of Upper Canada and established the village of Newark (now the village of Niagara) as the Capital of Upper Canada. This arrangement was short lived as the American forces took the military fort, Fort Erie, in 1796. The capital was subsequently moved to York, which is now present-day Toronto (H.R. Page, 1876).

Lincoln County, as a municipal entity, was formally established in 1798 and included the townships of Clinton, Saltfleet, Barton, Ancaster, Glanford, Binbrook, Gainsborough, Caistor, and Grimsby (Lincoln County Council, 1956). In 1970, Lincoln County became part of the Regional Municipality of Niagara (Mika & Mika, 1981, p. 161).

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#### 4.2.2 NIAGARA TOWNSHIP

Following the Toronto Purchase of 1787, the present-day area of Southern Ontario, which had formed part of the old Province of Quebec, was divided into four political districts: Lunenburg, Mechlenburg, Nassau and Hesse. When the Province of Upper Canada (present-day Ontario) was formed in 1791, the names of the four districts were changed to Eastern, Midland, Home, and Western, respectively, with 40 Platoff Street falling within part of the Home District. This was reorganized in 1798, with some of the lands being annexed to form the Niagara District. The Niagara District consisted of Haldimand and Lincoln Counties, with the subject property falling within the part of Lincoln County known as Niagara Township.

The historical Niagara Township was originally referred to as Township No. 1 and formed the northeastern corner of Lincoln County. The township was bounded by Lake Ontario to the north, the Niagara River to the east, Stamford Township to the south, and Grantham Township to the west. The lands within the township were acquired by the Crown from Mississaugas and Chippewas as part of Treaty No. 381, also known as the Niagara Purchase, on May 9, 1781. The Niagara purchase:

*... was made in the year 1764 at Fort Niagara from the Iroquois and Chippewa Indians, but it was not until May 9th, 1781 that a treaty was signed with the Mississauga and Chippewas for a strip of land four miles in width along the western bank of the Niagara River. This strip comprises the greater parts of the Townships of Lincoln, Stamford, Willoughby and Bertie.*

(Morris 1943: 15)

Although the area had been used by Europeans before and throughout the American Revolutionary War, formal settlement of Niagara Township did not occur until after the war, when men of Col. John Butler's Rangers (who had been stationed at the mouth of the Niagara River) were disbanded and began establishing themselves in the area (Page & Co. 1876). These settlers, along with a large influx of other United Empire Loyalists, prompted the completion of a Crown survey by Philip R. Frey between 1784 and 1787. Mr. Frey's survey organized the majority of the township into individually numbered 100-acre lots, with a large tract of Crown Reserve land established in the northern quarter of the township, east of Four Mile Creek. This tract was surveyed into several unnumbered, irregularly shaped military reserve lots (Frey 1787), which are best described as an 'emergency response, impelled by the need to provide land for thousands of refugees displaced by the American War of Independence' (Hughes 1994:209).

The first settlements in Niagara Township were located along various waterways (Powell and Coffman 1956:57-74). Four Mile Creek was one of the earliest places to be settled, with the communities of Virgil and

St. David's eventually developing along its banks. Other areas favoured by early settlers were along the western bank of the Niagara River, near the southeast corner of the township in the area that would eventually become the Village of Queenston, and at the mouth of the Niagara River in the area that would eventually become the Town of Niagara (later the Town of Niagara-on-the-Lake). Having briefly functioned as the capital of Upper Canada and later as the district town of Niagara District, the Town of Niagara quickly grew into an important commercial centre with markets capable of supporting the agricultural industry that existed throughout the township.

Niagara Township served as key military terrain during the War of 1812 and both the Town of Niagara and the community of St. David's were torched by the Americans (Page & Co. 1876). Despite these devastating losses, the local residents quickly rebuilt their communities following the war and the township prospered, with populations reaching 2,109 in 1841 (Smith 1846). By the late nineteenth century, the area was well settled, with farmsteads located on nearly every lot in the township (Page & Co. 1876; Department of Agriculture 1880).

In 1970, the Township of Niagara was amalgamated with the Town of Niagara to form the Town of Niagara-on-the-Lake within the Regional Municipality of Niagara; this newly formed area municipality contained a population of 15,400 residents in 2011 (Statistics Canada 2011).

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#### 4.2.3 TOWN OF NIAGARA-ON-THE-LAKE

The following history of the Town of Niagara-on-the-Lake was extracted from the Queen-Picton Streets HCD Expansion Study (Town of Niagara-on-the-Lake, 2016a).

The Town of Niagara was founded as a direct result of the location of Fort Niagara on the east bank of the Niagara River. That strategic outpost was responsible for provisioning distant garrisons such as Detroit and Michilimackinac. Most of the supplies came from Britain. With the arrival of many refugees from the American Revolutionary War, who were housed at Fort Niagara, the situation became desperate. Governor-General Haldimand proposed to settle the Loyalists on the rich agricultural lands on the west bank. Allotments were provided on a token rent basis, later converted to a system of grants. When the Butler's Rangers regiment was disbanded in 1784, 258 officers and men were assigned land with clear title to be granted after 10 years of satisfactory residence.

In 1791, a town plan was devised by Assistant Surveyor General D.W. Smith consisting of a military grid system of four acre blocks divided into one acre lots. Subsequently, the lots between Queen Street and the waterfront were reduced to a half acre. The main streets, now known as Queen, King, Mary, William, Mississauga and Butler, were laid out to a width of 99 feet with 66 foot wide secondary streets. An area towards the interior was designated as the town centre; but in practice commerce gravitated towards the waterfront with housing along Queen Street.

By 1792, the orderly settlement which had taken place in Niagara encouraged Governor Simcoe to choose the Town as the capital of Upper Canada. He named it Newark and set about reorganizing the territory for more efficient government. The former administrative districts were divided into counties and then into townships where lot plans were made ready for settlement.

The arrival of government officials and military personnel encouraged the establishment of businesses to supply their needs. Workmen skilled in the building trades were attracted to Newark, some from as far away as Lower Canada. The settlers brought with them their vision of what a proper house should look like and

many fine houses were erected during this period. In 1794, D.W. Smith reported there were about 150 houses in the Town. At that point, the original Town plot was enlarged to a plan of 412 lots including reserves. Construction of Fort George began in 1796; but for reasons of security the capital was moved to York in 1797.

Newark reverted to the role of head of the district and the inhabitants applied to the legislature for their old name back. Niagara remained the legal name of the Town until Regional government was set up in 1970.

#### **4.3 War of 1812 -1814 and the Aftermath**

The War of 1812 – 1814 brought a halt to the Town's growth and to the construction of its fine Georgian buildings. The American forces occupied the Town on May 27, 1813 and on December 10, 1813, before retreating across the Niagara River, put the Town of Niagara to the torch destroying virtually all the buildings and severely damaging others.

The form of Niagara-on-the-Lake as it is today is largely the result of the reorganization which took place during the reconstruction. Except for those enterprises directly connected with shipping, businesses tended to concentrate along Queen Street. Returning residents built their houses mainly between Queen Street and the waterfront and up King Street to the new Court House, which had been built, for safety's sake, at the upper end of the street.

The first streets to be rebuilt were Prideaux, Front, Queen and Johnson running east-west and the cross streets from King to Mississauga. A four (4) acre block south of Queen Street belonging to D.W. Smith was sold back to the Crown and designated as a market square. In order to compensate for lands expropriated to build Fort Mississauga, a new survey was opened up east of King Street in 1826. Although the streets were a continuation of those already in existence to the west, new names were assigned. Prideaux east of King Street became Byron Street, Queen became Picton Street and Johnson became Platoff Street.

#### **4.4 1814-1859 - The Niagara Harbour and Dock Company and the Welland Canal**

The evolution of the Town from the end of the War of 1812 -1814 onwards was affected by periods of boom and recession, with an attendant rise and fall in building construction.

Initially there was a period of rapid growth and commercial success, mainly because of Niagara's location at the end of Lake Ontario and the head of the portage route around Niagara Falls. It was also the government headquarters for the Niagara District for most of this period. Enterprises such as the Niagara Harbour and Dock Company, founded in 1831, provided many jobs and the increase in population led to new buildings. There are 100 pre-1860 buildings in the National Heritage District over 50 of which are located in the current Queen-Picton Heritage Conservation District.

In 1829 the first Welland Ship Canal was completed, replacing the overland portage route that was vital to the economy of Niagara. Despite this setback, the Town embarked on an era of economic diversification between 1830 and 1850. The Niagara Harbour and Dock Company, established in 1831, built sailing vessels, steamboats, docks and warehouses around the new harbour. Industry followed, including a tannery and a brewery. Fine commercial buildings were also constructed along Queen Street at this time.

This period of prosperity ended with the construction of the second Welland Canal in the mid 1840s and the ultimate failure of the Niagara Harbour and Dock Company. The situation was compounded when the county seat was relocated from Niagara to St. Catharines, despite the construction of the handsome third Court



House in 1847, designed by the eminent Anglo-Canadian architect, William Thomas. As a result, the population of the Town declined steadily throughout the second half of the nineteenth century.

#### **4.5 African Canadian Settlement**

Although the Loyalist settlers in Niagara brought their slaves with them from the United States, slavery never took permanent root in Upper Canada. On July 9, 1793, Canada's first and only anti-slavery act was given royal assent by Governor John Graves Simcoe, fully 40 years before the British parliament abolished slavery throughout the Empire.

The Act to prevent the future introduction of slaves and to limit the terms of contracts for servitude within the province was a compromise in that it provided for freedom for future generations of slaves and effectively ended slavery in Canada.

From the beginning, Niagara was the end of an Underground Railroad system and many escaped slaves who successfully made the perilous trip settled in the Town. By 1850 there was a significant African Canadian community located predominantly near the Negro Burial Ground in an area bounded by Mary, Mississauga, Anne and King Streets. Many of the smaller, older homes in this area may have been owned by African Canadian families though all of their descendants have since moved away.

#### **4.6 Irish Settlement**

During the 1840s immigrants from Ireland fleeing the Irish Potato Famine came to Niagara seeking employment constructing the Welland Canal and later finding work on the railroad. The area in which they settled, along Rye Street near the site of the second Court House, is still known as Irishtown.

#### **4.7 Summer Visitors**

The survival of both the lake steamer service and the railroad line and the construction of a network of electric railways across the peninsula laid the foundation for the revival of Niagara as an important resort area in the late nineteenth century. Though it was off the beaten path, the area was known for its fresh air, moderate climate and waterfront location.

Wealthy American visitors came to stay for long summer vacations resulting in the enlargement of some of the older homes to accommodate extended families and servants. Large new summer residences were also constructed with balconies, verandahs, widows' walks and large airy rooms. A religious camp grew up in the Chautauqua area resulting in the construction of a hotel; an amphitheatre seating several thousand people; and a number of summer cottages of a distinctly Victorian design.

When the Chautauqua Institute ceased to exist, the ensuing development took on a unique street design resembling the spokes of a wheel.

The Queen's Royal Niagara Hotel was constructed in what is now Queen's Royal Park to accommodate distinguished visitors such as the Duke and Duchess of York, the future King George V and Queen Mary. Tennis courts, a lawn bowling green and a pavilion for parties and dances attested to the popularity of Niagara as a summer resort.



## 4.8 The Twentieth Century

Throughout the twentieth century, tender fruit farming and tourism have been the basis of the local economy. In 1902, Niagara unofficially became Niagara-on-the-Lake. The title was made official with the introduction of Regional government in 1970.

In the mid 1970s, encouraged by the special climate of Niagara, Inniskillin winery began to plant vinefera vines and was producing wine from those grapes by the early 1980s. The switch to vinefera grapes resulted in a burgeoning wine industry that has seen tremendous growth and has resulted in the creation of a number of estate wineries in Niagara-on-the-Lake. These are becoming increasingly celebrated in Canada and around the world.

With the founding of the Shaw Festival, the 1960s also saw growth of cultural institutions. The festival has since grown to encompass three theatres; is open from April until November; and attracts over 300,000 patrons each year.

Founded in the late 18th century, Niagara-on-the-Lake spans the history of Ontario and illustrates, perhaps better than any other municipality in the province, what early nineteenth century Upper Canada was like. In recognition of its special status, a portion of Niagara Old Town was declared a National Historic District, the first in Ontario, in 2003.

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## 4.3 EARLY EDUCATION IN ONTARIO

In 1816 the Province of Upper Canada passed the *Common School Act* to provide a basis for establishing primary schools throughout the province. It was based on the principles that primary education should be a local initiative and locally controlled by elected trustees, and that society as a whole had some financial responsibility for educating children. To this end, the government would subsidize a teacher's salary by £25 per annum for any school having 20 or more students. Residents of the community were responsible for the other financial needs of the local school (Johnson, 1983).

One method of providing income was based on the precedent of Crown grants of land to support institutions of higher education, such as King's College and Upper Canada College. Citizens in good standing could petition the Executive Council of Upper Canada for land patents.

Although the legislation allowed for the formation of schools and at least assisted in the support of a teacher, conditions remained widely variable among the ability of communities to provide a healthy, safe place conducive to learning. It was not until 1841 when revisions to the *Common School Act* were passed that addressed the need for a Superintendent to inspect and report on conditions in the schools. Egerton Ryerson, a Methodist Cleric, was hired as Superintended. He went on to improve the quality of primary education in Ontario until his retirement in 1876. Despite this, Egerton Ryerson is perhaps best-known as the architect of the Residential School System in Canada, which led to the large-scale and systematic erasure of Indigenous culture through the forced removal and re-education of Indigenous children.

The development of the rural one-room schoolhouse building type started with cramped, damp quarters without proper seats and desks, low light levels, and other deficiencies. As outlined in *The School House, its Architecture, External and Internal Arrangements* (Hodgins 1857), students required fresh air, adequate circulation, high ceilings, adjustable windows, and a schoolyard for exercise. Adequate light called for windows to be large, and correctly aligned. Hodgins also considered the need for a pleasant environment to

encourage learning, and to demonstrate that the schoolhouse played a significant role in the community. He promoted the improvement of the setting of the school, with fenced playgrounds, trees, gardens and other plantings, and sanitary privies, to make the local schoolhouse “what it ought ever to be . . . the most attractive spot in the neighbourhood.”

An excerpt from the Canada School Journal indicates that in 1882, both Roman Catholic and Protestant students were educated at the school:

*The Niagara Public School under Mr. Geo. Cork is in a flourishing condition. The separate school was given up about two years ago, and since that time children of Roman Catholic Parents have been learning side by side with those of Protestants, and the arrangement is working harmoniously.*

Canada School Journal, 1882.

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## 4.4 JAMES CROOKS

The subject property is directly associated with James Crooks (Image 1), a notable individual locally and provincially. He was born in 1778 in the parish of Kilmarnock, Scotland and arrived in Upper Canada in 1791 to join his half brother Francis who, in 1788, established a mercantile at Fort Niagara (near Youngstown, NY) at the mouth of the Niagara River. The land on which the mercantile was sited was expropriated as part of the 1795 plans to improve the defensive works at Fort Niagara. The Crooks brothers moved to Newark (Niagara-on-the-Lake), Upper Canada, where they re-established their business. The brothers became involved in several military enterprises, with a focus on military provisions, including the shipment of grain and flour to Lower Canada, brewing and distilling, and the production of potash. The brothers chartered vessels to facilitate the shipment of goods, and in 1811 they built the schooner Lord Nelson, in Niagara (Ouellette, 1985).

Between 1794 and 1807, Crooks rose from ensign to captain in the 1<sup>st</sup> Lincoln Militia, and in 1797 he became a postmaster at Newark. In 1808, Crooks married a daughter of a former member of the Butler's Rangers, further strengthening his position in the community. On June 5, 1812, his schooner, the Lord Nelson, was commandeered on Lake Ontario by the American navy and later armed for service under the name Scourge. During their occupation of Niagara, the Americans destroyed his homestead and buildings. During the War of 1812, Crooks fought at the Battle of Queenston Heights and later served on the jury at the Bloody Assize of 1814 (Ouellette, 1985).

Crooks resettled in Flamborough, Ontario, in 1814. By 1818, he constructed a gristmill, sawmill, carding-mill, general store, cooperage, and blacksmith's shop, forming a complex and small community later known as Crooks 'Hollow (near present-day Greensville). In 1818 he was granted a quay lot in Coote's Paradise (Dundas) on Burlington Bay (Ouellette, 1985). Crooks was commissioned as a justice of the peace in 1814, and went on to be chairman of the Gore District Court of Quarter Sessions. In 1820, he was elected in 1820 to the House of Assembly along with William Chisholm to represent the riding of Halton and two years later he became colonel of the 1st Regiment of Gore militia.

Crooks opposed denominational schools and was a steadfast in his support to achieve social, religious, and political harmony. In 1854, James Crook sold approximately two acres of Block 39 to the Town Council of Niagara (OHT, 2005), with two conditions attached to the sale. The first condition required the property was to be “for uses of Common Schools and Grammar Schools in the Town of Niagara forever” (Merritt, 2012).

The second stipulation required that four scholars be named “each and every year... in perpetuity”. Two of the scholars were to be educated at the Common School and two at the Grammar School. These four scholarships were known as the Crooks endowment and they were to be paid for by “the Town Council, their successor, or any of those other persons in whom the title to the lands is vested” (OHT, 2005).

James Crooks died on his estate in West Flamborough Township in 1860.



Image 1: James Crooks, date unknown

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## 4.5 JOHN THORNTON

John Thornton was a master brick mason, responsible for the construction of the Niagara Public School. He was involved with the construction of several historically important buildings in Niagara-on-the-Lake including the Court House at 26 Queen Street and St Andrews Presbyterian Church at 323 Simcoe Street. In 1860, he built the Lakeview House/Riverside Inn (located at the corner Melville Street and River Beach Road), which burned in 1990. In 1871, Thornton was included on the Niagara Volunteers militia list. It also appears that he was involved in the town in some capacity, likely as a tax assessor, but was never voted onto the town council (S. Butts, personal communication, March 28, 2023).

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## 4.6 JANET CARNOCHAN

Janet Carnochan (Image 2 and Image 3) was an educator and historian, born in Stamford (Niagara Falls) in 1839. Carnochan moved to Niagara (present-day Niagara-on-the-Lake) in 1841 with her parents and four siblings. She spent her childhood and adolescence in Niagara where Janet and her siblings attended local schools and St. Andrews Presbyterian Church.

After applying for a certificate of qualification in 1856, Janet became a teacher. At the age of 17, she began teaching at the Niagara Public School. Carnochan received a first-class provincial certificate from the Toronto Normal School and went on to teach at Brantford Union School, Kingston's Wellington Street public school as well as a rural school near Peterborough. In 1872, she accepted a position as the principal at the Niagara public school and returned to Niagara. From 1872 to 1875, Janet served as the principal of the school. In 1857, she accepted a position as principal of the newly constructed high school on Castlereagh Street.

Janet Carnochan was also an active volunteer in the community; she also taught Sunday school at St Andrew's Church, and assisted in fundraising efforts. She also sat on the board of managers from 1892 to 1895 and was secretary of the women's missionary society from 1887 until her death in 1926. Carnochan also sat on the board of the Niagara Public Library as secretary and treasurer, and acted as a temporary librarian. She was chosen as one of 20 Canadian women to attend the World's Congress of Representative Women in Chicago in 1893.

In 1895 Carnochan founded and was appointed president of the Niagara Historical Society and began preparing historical accounts of the Niagara's Anglican and Presbyterian churches. Throughout her life she contributed articles and prepared papers on historical subjects. She remained an important member of the Niagara Historical Society until 1925, acting as president, corresponding secretary, and editor of its reports and publications.

Carnochan retired from teaching in 1900, a year later she became the curator of the Niagara Historical Society's collections and was instrumental in the construction of Memorial Hall. Memorial Hall, located at 43 Castlereagh Street, was Ontario's first purpose-built museum, formally opening 1907. In 1949, when the town's former high school was incorporated into this complex, it was renamed Janet Carnochan Hall (OHT, 2023). Carnochan also wrote a historical column in the local paper, the Niagara Times and was committed to preserving historical landmarks in Niagara, such as Butler's Burying Ground, Forts George and Mississauga, and the military reserve, or commons.

Carnochan died in 1926 and is interred at St. Andrew's Presbyterian Church. During her lifetime and posthumously, Janet Carnochan received a number of local, provincial, and national tributes to her endeavours, including having a Toronto teachers' chapter of the Imperial Order Daughters of the Empire named in her honor. In 1984, the Province of Ontario recognized her as a notable citizen, patriot, writer, educator and historian by erecting a plaque at Janet Carnochan Hall on Castlereagh Street.



**Image 2: Photograph of Janet Carnochan, c. 1872.**  
(Courtesy of the Niagara-on-the-Lake Museum)



**Image 3: Portrait of Janet Carnochan by E. Wyly Grier, c. 1920-21** (Courtesy of the Niagara-on-the-Lake Museum)

## 4.7 SITE SPECIFIC HISTORY: 40 PLATOFF STREET

The Euro-Canadian land use history for 40 Platoff Street, Niagara-on-the-Lake was produced using land registry records, historical mapping, and other primary and secondary sources, where available.

The subject property is located within Parcel 1, Part of Block 39, Township Plan 86, Township of Niagara, County of Lincoln, now the Town of Niagara-on-the-Lake, within the Regional Municipality of Niagara.

It should be noted that the absence of structures or other features shown on the historical maps does not preclude their presence on these properties. Illustrating all homesteads on the historical atlas maps would have been beyond the intended scope of the atlas and, often, homes were only illustrated for those landowners who purchased a subscription.

The 1810 Gray's Map of the Plan of Niagara (Figure 3, Appendix A) shows the town blocks within Niagara have been established, west of present-day King Street. The subject property, however, is located outside of the town boundaries; no structure is depicted on 40 Platoff Street. Fort George is present southeast of the subject property.



According to the abstract index, on December 9, 1823, James Crooks received a patent from The Crown for Parcel 1 within Part of Block 39, Township Plan 86 (Book 31, Page 4). The lands within Part of Block 39, Township Block 86 were part of the Great Swap, the first and largest surrender of a portion of the military reserve around Fort Mississauga (Merritt, 2012).

In 1854, James Crook sold approximately two acres of Block 39 to the Town Council of Niagara (OHT, 2005), with two conditions attached to the sale. The first condition required the property was to be "for uses of Common Schools and Grammar Schools in the Town of Niagara forever" (Merritt, 2012). The second stipulation required that four scholars be named "each and every year .. in perpetuity". Two of the scholars were to be educated at the Common School and two at the Grammar School. These four scholarships were known as the Crooks endowment and they were to be paid for by "the Town Council, their successor, or any of those other persons in whom the title to the lands is vested" (OHT, 2005).

A contract from 1856 outlines the terms of construction for the Niagara Public School (Image 4) between the Board of School Trustees, John Thornton, John Powell and Edward Dixon. The contract reads as follows:

*Know all men by these present that we the undersigned John Thornton of the Town of Niagara in the County of Lincoln, Builder, John Powell of the same place, Esquire, and Edward Dixon of the same place, lumber merchant are held and firmly bound unto the Board of School Trustees of the Town of Niagara in the County of Lincoln, that is to say the said John Thornton in the total sum of two hundred and fifty pounds, the said John Powell and Edward Dixon in the sum of one hundred and twenty five pounds each, current money of this Province to be well and truly paid unto The Board of School Trustees of the Town of Niagara in the County of Lincoln, if default shall be made in conditions hereunder written.*

*New the condition of this obligation is such, that if the above builder John Thornton, who has contracted with the said Board of School Trustees for the erection of a School House in the said County of Niagara, shall preform said contract in accordance with the plans, specifications, Terms and Conditions thereof as signed by the said John Thornton and by the Chairman of the said new Board of School Trustees aforesaid, then this obligation to be void otherwise to remain in full force and virtue.*

*Sealed with our seals and dated at Niagara this fifteenth day of July 1856.*

Shew all Men by these Presents that we the undersigned  
 John Thornton of the Town of Niagara in the County of Lincoln  
 Builder, John Powell of the same place Carpenter and Edward  
 Dixon of the same place, Lumber Merchant, are held and  
 firmly bound unto The Board of School Trustees of the Town  
 of Niagara in the County of Lincoln, that is to say the said  
 John Thornton in the penal sum of Two Hundred and  
 fifty Pounds, and the said John Powell and Edward  
 Dixon in the sum of One Hundred and Twenty Five Pounds  
 each, current money of this Province, to be well and  
 truly paid unto the said The Board of School Trustees  
 of the Town of Niagara in the County of Lincoln if default  
 shall be made in the conditions hereunder written  
 Now the condition of this obligation is such, That if  
 the above bounden John Thornton, who has contracted with  
 the said Board of School Trustees for the erection of a  
 School House in the said Town of Niagara, shall perform  
 said contract in accordance with the Plans Specifications  
 Terms and conditions thereof, as signed by the said  
 John Thornton and by the Chairmen of the said The  
 Board of School Trustees aforesaid, then this obligation  
 to be void otherwise to remain in full force and virtue  
 Signed with our seals and dated at Niagara  
 this fifteenth day of July 1856.

John Thornton  
 John Powell  
 Edward Dixon  
 James A. G. Clark  
 Chairman of Board School  
 Trustees  
 Town of Niagara

Signed and sealed in presence of  
 Mr. Rogers

Image 4: Contract outlining terms of construction for the Niagara Public School  
 (Courtesy of the Niagara-on-the-Lake Museum, Collection No. 399.1)

Construction on the school began in 1857, when master mason John Thornton was hired to slate the roof of the building (OHT, 2005).

On May 31, 1859, the Corporation of the Town of Niagara sold Parcel 1, within Block 39 to the Board of School Trustees of the Town of Niagara, for a sum of £50 (Book 31, Page 4, Instrument No. 10222). The school formally opened in the 1859-1860 school year; it was the first public or common school in the Town of Niagara-on-the-Lake. The school originally had four classrooms, two on each floor, and served elementary grades. When the school opened, it had four rooms, two on each floor. Three of the rooms were used as classrooms until 1880, when the fourth room was converted from the principal's office to a classroom.

Given the high concentration of structures within the area, property ownership has not been illustrated on the 1862 Tremaine Map of the Counties of Lincoln and Welland, but rather each block comprising the core of the Village has been outlined and in some more densely populated areas, shaded black (Figure 4, Appendix A). In 1862, the subject property is located near the eastern edge of the village boundaries, and original concession roads, including East and West Line, John Street and Queens Parade, are identified on the map. The settlement of Niagara, Fort George, Fort Mississauga, Butler's Barrack, a racecourse and Garrison Reserve were also recorded on the map. By 1862, the Erie and Ontario Railway is depicted, west of the subject property.

The Town of Niagara established a Grammar School on lands donated by Crooks in 1875. The school was located at the southwest corner of Davy Street and Castlereagh Street. The land between the Grammar and Common School remained vacant until 1910 when John Carnochan constructed two cottages on the property. The cottage immediately adjacent to the Grammar School was used as a school washroom; the second cottage was sold to the Public School Board in 1919 and used as a junior schoolroom. The grouping of institutional buildings along Davy Street and Castlereagh Street are extant and currently house the Niagara Historical Society (OHT, 2005).

Similar to the 1862 Tremaine Map, the 1876 historical atlas map of Niagara Township does not show property ownership within the town limits, and the blocks of the village core have been shaded black (Figure 5, Appendix A). By 1876, the village are largely unchanged from those depicted on the 1862 Tremaine map

A post card printed by the B.C. Printing & Litho Ltd. of Vancouver, British Columbia dating between 1928 and 1930, shows the north and east façades of the former Niagara Public School building (Image 5). With the exception of a fire escape on the east façade, there are no changes to the configuration or detailing to the former school building. The postcard also shows the adjacent properties at 263 Davy Street and 30 Platoff Street. 263 Davy Street is shown as a one-storey building with a hipped roof, with a one-story lean-to addition on the west elevation. Only a small portion of the structure at 30 Platoff Street is visible, however, several addition are visible on the rear of the building.

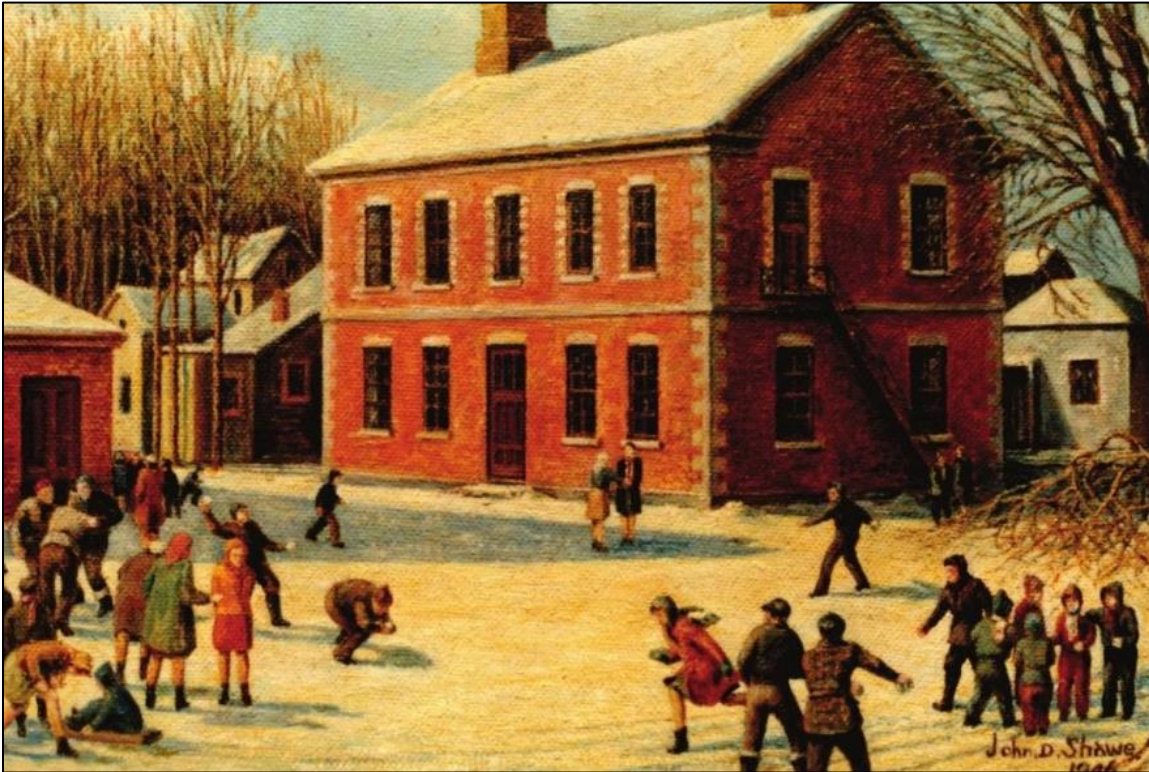




**Image 5: Postcard showing the former Niagara Public School building, c. 1928-1930 (Courtesy of the Niagara-on-the-Lake Museum)**

An oil painting by John D. Shawe from 1946 titled “The Old School” shows a three-quarter view of the building’s south (rear) and east façades (Image 6). The building’s defining architectural details are evident in the painting including its red brick construction, stone sills, lintels, quoins and denticulated window surrounds. One notable difference in the painting is the configuration of the rear door, which is depicted as a tall rectangular opening, capped with a slightly pointed stone lintel.

A portion of the former washroom building located at 263 Davy Street including a door and its hipped roof construction are, is visible in the painting. Several frame structures of varied heights are present in the painting, north and west of the school.



**Image 6: The Old School by John D. Shawe, 1946 (Merritt, 2012)**

The parcel remained under the ownership of the Niagara Board of Education of the Town of Niagara until March 1, 1949, when it was granted to Fred A. Beattie for \$4,500 (Book 31, Page 4, Instrument 7825). It was at this time that the school closed and the building was converted into residential apartments. Students of the Niagara Public School were transferred to Parliament Oak School on King Street, which formally opened in 1948.

Aerial photographs from 1954, 1968, and 2002 were reviewed to assist in documenting changes to the landscape. A 1954 aerial photograph (Figure 6, Appendix A) of the subject property was reviewed, and while the quality of the photograph is poor, the house is visible and mature trees are present within the subject property.

The 1968 and 2002 aerial photographs (Figure 7 and 8, Appendix A) clearly show the building at 40 Platoff Street in its current configuration. The coach house is not present on either aerial photograph, rather, a driveway extending south from Platoff Street is present. The driveway appears to curve around the rear of the building, allowing access to the rear entrance. A semi-circular driveway is visible in both aerial photographs.

In 2002, the property was purchased, the interior renovated and the former school building was converted into a bed and breakfast (Niagara this Week, 2006).

Based on aerial imagery, the existing coach house was constructed between 2014 and 2015, however, no information regarding a Minor Variance Application was available on the Town's website. In 2021, and under Minor Variance Application A-16/21, a covered gazebo was added to the northeast corner of the subject property (The Town of Niagara-on-the-Lake, 2021 a). The subject property was acquired by the current owners, Pete Hill and Carrie Chan, in 2022, and currently functions as the School B&B.

# 5 EXISTING CONDITIONS

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## 5.1 40 PLATOFF STREET

The subject property is an approximately .14-hectare rectangular parcel containing a former school building, constructed in the Neo-Classical style, that has been converted into a bed and breakfast. A one-and-a-half storey coach house is located east of the primary building. The property is prominently sited on the corner of Platoff Street and Davy Street, with the building's façade oriented towards Davy Street and the active entrance towards Platoff Street. The building is set back 11.63 metres from Davy Street and 12.8 metres from Platoff Street. The property is accessed via a paved driveway at the western property limit, the driveway leads to a parking pad and semi-circular driveway.

The following description of the subject property is based on a site visit conducted on February 21, 2023, by Emily Game, Cultural Heritage Specialist. Access to the project location was provided by the client. As the anticipated impacts are limited to the exterior of the structure, the interior of 40 Platoff Street is not considered in this CHIA.

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### 5.1.1 RESIDENCE

The two-and-a-half storey house constructed in the Neo-Classical Style is set back approximately 11.63 metres from Davy Street and 12.8 metres from Platoff Street. The structure is oriented with its active entrance towards Platoff Street, east of a paved semi-circular driveway.

Constructed in 1859, the building retains its original scale, massing and footprint. The building consists of a two-and-a-half storey structure with a symmetrical five-bay façade with an end gable roof; a single stone stringcourse encircles the building. The house is of brick construction and rests on a fieldstone foundation clad in buff brick. The main façade of the structure was constructed using a fine example of Flemish bond, while the east, south, and west elevations were constructed using the Common bond. Flemish bond was considered to be of higher quality as more bricks were required to construct the wall, it also reflects a higher degree of craftsmanship. A 1913 contractors' estimating book specifies that a mason should be able to lay 600 bricks in the Common bond per day in veneer work but only 200 when laid as fancy brickwork (Radford, 1913: 377).



### 5.1.1.1 *EXTERIOR*

#### **North Elevation**

The symmetrical five-bay north elevation represents the building's active façade, which is comprised of a centrally placed entrance, flanked by two windows on each side (Photograph 1, Photograph 2 and Photograph 3). The entrance includes a contemporary replacement door, with an original semi-circular fanlight with fine tracery details and sidelights. The fanlight is capped with a cut stone, semi-circular lintel, with a projecting keystone (Photograph 4 and Photograph 5).

The windows on the façade feature denticulated surrounds in buff brick as well as cut stone sills and lintels; the lintels are slightly pointed (Photograph 6). The windows are modern replacements for what would have been six-over-six double-hung sash. The brick wall is relieved by decorative elements including buff brick quoins and a buff brick stringcourse which delineates the first and second storeys. A buff brick frieze is also located directly below the roofline. The north elevation is constructed using the Flemish bond, a decorative bond which consists of alternating stretchers and headers within each course (Photograph 7).

The property is commemorated with a Town of Niagara-on-the-Lake heritage plaque which is located to the right of the main entrance and a date stone is located to the left of the main entrance (Photograph 8 and Photograph 9). The names of former students are carved into several of the bricks (Photograph 10).



**Photograph 1: Three-quarter view of the north and east façades of the former Niagara Public School (WSP, 2023)**



**Photograph 2: Three-quarter view of the north and west façades of the former Niagara Public School (WSP, 2023)**



**Photograph 3: View of north façade of the of the former Niagara Public School (WSP, 2023)**





Photograph 4: Main entrance of the of the former Niagara Public School (WSP, 2023)

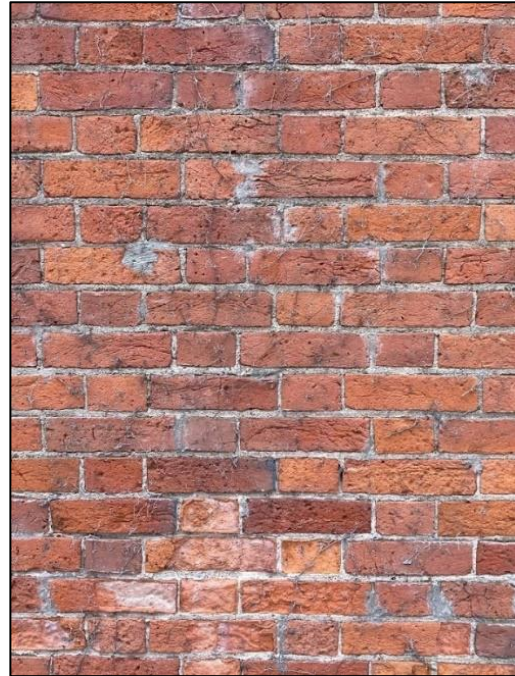


Photograph 5: Detail of fanlight with tracery and cut stone lintel with projecting keystone (WSP, 2023)





Photograph 6: Detail of buff brick ornamentation  
(WSP, 2023)



Photograph 7: Detail of Flemish bond construction  
(WSP, 2023)



Photograph 8: Detail of heritage plaque on façade (note "Simcoe" carved into the brick) (WSP, 2023)





Photograph 9: Date stone of the former Niagara Public School (WSP, 2023)



Photograph 10: George Gardner carved into brick on the main façade (WSP, 2023)



## East Elevation

The east façade represents the main façade of the structure<sup>3</sup>, it comprises a two-and-a-half storey gable end with return eaves. The east façade contains a symmetrical arrangement of openings with two windows on the ground floor and two windows above on the second floor. The ground level and upper level windows are fitted with contemporary window sash. Decorative elements including the buff brick frieze, stringcourse, stone sills, lintels and denticulated window surrounds are continued on the east elevation (Photograph 11).

Archival evidence suggests the second storey window within the left bay was originally a door, and served as a fire escape. Brick repairs below the second storey window are visible, as is the ghost marks from the former fire escape (Photograph 12 and Photograph 13). The east elevation of the building is constructed using the Common bond (Photograph 14).



**Photograph 11: Overview of main (east) façade (WSP, 2023)**

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<sup>3</sup> According to the Zoning By-law, the front yard of 40 Platoff Street is located along Davy Street because it is the shortest lot line along a public road.





**Photograph 12: Detail of second storey door converted to a window (WSP, 2023)**



**Photograph 13: Diagonal ghost mark from fire escape (WSP, 2023)**



**Photograph 14: Detail of buff brick foundation and Common bond brick construction (WSP, 2023)**



## South Elevation

Similar to the north façade, the south elevation is comprised of five bays, with a centrally placed entrance (Photograph 15). The rear entrance includes a contemporary replacement door, which has been shortened from its original height. The opening is simple in form and has no sidelight or fanlight (Photograph 16). The windows on the south façade have cut stone sills and pointed lintels, unlike the north, east and west facades however, they do not have denticulated buff brick surrounds (Photograph 17). The windows are modern replacements for what would have been six-over-six double-hung sash. The south elevation is decorated with buff brick quoins and a buff brick stringcourse, and a buff brick. The north elevation is constructed using the Common bond (Photograph 18). Several names and initials, along with the year are carved into the brick on the south façade (Photograph 19).



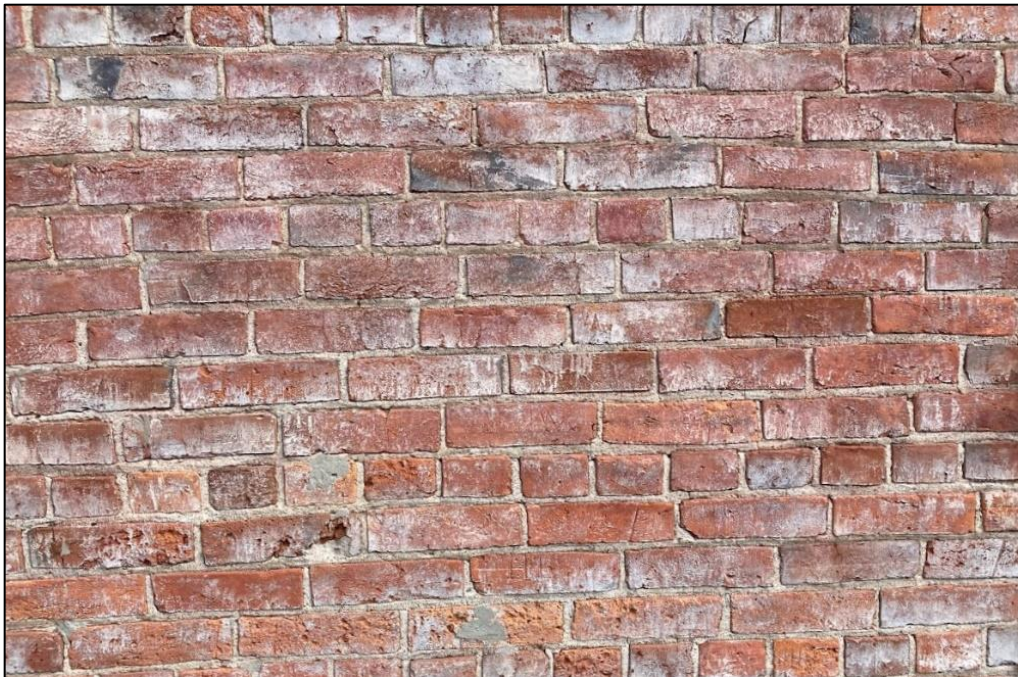
**Photograph 15: Overview of rear (south) façade (WSP, 2023)**



Photograph 16: Detail of brick repair above rear door (WSP, 2023)



Photograph 17: Detail of window on first floor of south façade (WSP, 2023)



Photograph 18: Detail of Common bond construction on south façade (WSP, 2023)





**Photograph 19: Detail of names carved into brick (WSP, 2023)**

## **West Elevation**

The west elevation is arranged in a similar manner to the east gable end. It features two windows on the ground floor and two windows above in the upper level. All of the windows are fitted with contemporary window sash. Similar to the east elevation, a door has been converted to a window and a fire escape was once present. Decorative elements including the buff brick frieze, stringcourse, stone sills and lintels and denticulated window surrounds are continued on the west elevation (Photograph 20 and Photograph 21Photograph 11).

Ghost marks indicate a small addition with a gable roof was attached to the west elevation, between the ground floor windows (Photograph 22). The east elevation is constructed using the Common bond (Photograph 14). Openings in the brick wall and foundation have been created to accommodate modern amenities, such as exhaust fans and plumbing.





Photograph 20: Overview of west façade (WSP, 2023)



Photograph 21: Detail of west façade window (WSP, 2023)



Photograph 22: Ghosting on brick from former cold room on the west façade (WSP, 2023)

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### 5.1.2 COACH HOUSE

A detached coach house is located on the west side of the subject property, accessed via the circular driveway from Platoff Street. It is a one-and-half storey structure with an end gable roof; the main façade features three dormers. The coach house is clad in horizontal siding and has three front-facing carriage doors with three-over-three divided lite sash windows. The buildings is set upon a concrete pad with concrete footings (Photograph 23). The coach house was constructed c. 2014.



**Photograph 23: Main (north) façade of the coach house (WSP, 2023)**

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### 5.1.3 LANDSCAPE CONDITIONS

The subject property consists of a .14-hectare rectangular lot with flat topography, within a predominately residential neighbourhood. The built elements of the property include a residence and a one-storey garage. The residence is prominently sited at the corner of Platoff Street and Davy Street. The property is accessed via a semi-circular driveway from Platoff Street, a surface parking lot is present along the western property line, north of the coach house (Photograph 24 and Photograph 25). A walkway laid with paving stones leads from Platoff Street to the front entrance and west to the driveway, the walkway continues between the house and garage, allowing access to the back yard. The front and side yards of the subject property consist of a manicured lawn with several mature deciduous and coniferous trees, including row of cedar trees along Davy Street. A gazebo is sited at the northeast corner of the property (Photograph 26 and Photograph 27). The area immediately south of the house is covered with paving stones (Photograph 28).





**Photograph 24: View to east of semi-circular drive and front yard (WSP, 2023)**



**Photograph 25: Parking pad along Platoff Street (WSP, 2023)**





Photograph 26: View to south of side yard (WSP, 2023)



Photograph 27: View to north of mature tree and gazebo (WSP, 2023)



**Photograph 28: View to west of backyard and east elevation of coach house (WSP, 2023)**

## 5.2 STUDY AREA CONTEXT

Located within the Town of Niagara-on-the-Lake National Historic Site, the Historic Old Town HCD and adjacent to the Queen-Picton HCD, at the corner of Platoff Street and Davy Street, the subject property is surrounded by predominately low-density residential properties. The residential properties vary in age from mid-to-late nineteenth century houses to modern dwellings.

The dwellings along Platoff Street and Davy Street generally consist of one and two-storey houses, several of which have been converted to commercial uses. Several of the adjacent properties have one and one-and-a-half storey rear additions of modern construction. The structures are constructed of frame and brick and are clad using a variety of materials including clapboard, red brick, modern vinyl siding and stucco. They reflect styles typical to the late nineteenth century and mid-twentieth, with notable examples of Neo-Classical, Georgian and Edwardian architecture (Photograph 29 and Photograph 30). Mid-twentieth century residential infill is evident on Platoff Street and Davy Street (Photograph 31).

There are five adjacent properties included on the Town of Niagara-on-the-Lake's Municipal Heritage Register, and within the Queen-Picton HCD. The Part V designated properties include 35 Platoff Street, 39 Platoff Street, 43 Platoff Street, 244 Davy Street and the surface parking lot on Platoff Street, east of Haines Lane. The remaining properties including 30 Platoff Street, 54 Platoff Street and 263 Davy Street are not included on the Town of Niagara-on-the-Lake's Municipal Heritage Register (Town of Niagara-on-the-Lake, 2021 b).

The property at 263 Davy Street, located south of the subject property, was constructed c. 1910 and was used as a washroom building for the Niagara Public School. The brick building is comprised of two sections: the front section is one-storey in height and has a hipped roof and the rear section is one-and-a-half storeys and has an end gable roof (Photograph 32).





**Photograph 29: Intersection of Davy Street and Platoff Street, showing varied architectural styles (WSP, 2023)**



**Photograph 30: Platoff Street, showing varied architectural styles (WSP, 2023)**





Photograph 31: Example of mid-twentieth century infill on Platoff Street (WSP, 2023)



Photograph 32: 263 Davy Street (former washroom building)

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## 5.3 ARCHITECTURAL STYLE

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### 5.3.1 NEO-CLASSICAL

The former school building at 40 Platoff Street is built in the Neoclassical architectural style (OHT, 2005). The Neoclassical style was a direct result of the War of 1812 (Kyles, 2017). Upper Canadians returning from the war were second or third generation Loyalists who had inherited land from their families and now had the opportunity to buy land and construct residences in Ontario, many of which were noted to have settled in Lincoln Township (see Section 4.2). Pattern books from England illustrating Classical detailing were available and influenced many residential designs, with an emphasis on the introduction of fine door and window ornaments (Kyles, 2017).

The most important manifestations of Neo-Classical design were in the form of public and commercial buildings. Between the 1830s and the 1850s, Upper Canada experienced unprecedented growth in population, which allowed for more government services and public buildings to house administrative offices.

The Neoclassical style can be seen in “both residential and commercial buildings constructed on the traditional Georgian plan, but...[with] a new gaiety and light-heartedness. Detailing became more refined, delicate, and elegant” (Kyles, 2017). Commonly built between 1810-1850, during its peak, Neoclassicism was thought to be an “advanced” style and was “popularly felt to be a fashionable refinement, and thus an improvement of the earlier Georgian look” (UW, 2009; Kyles, 2017; Fram, 2003:24). Although the two styles are similar in symmetry, Neoclassical structures are often more delicate, including detailing around door and window openings (UW, 2009).

The style is generally constructed to two or three storeys with a three-bay façade, hip or end gable roofs with matching chimneys and a central entrance with pilasters and sidelights, transoms and/or fan lights around a single door (UW, 2009). Many Neo-Classical buildings were built of brick and their detailing is always white (Kyles, 2017). Exterior finishes and details vary significantly across the province as is evidenced in the examples of Neoclassical architecture observed in the Town of Niagara-on-the-Lake, most of which are modest, vernacular interpretations of the style likely designed by local builders.

Neoclassical style houses are commonly found in the Town of Niagara-on-the-Lake. A comparative analysis of examples of the style are found in Section 5.3.2.

Characteristic elements of Neo-Classical architecture often include the following:

- Two-to-three storeys in height;
- A rectangular plan and façade with three-bay front with quoins on the front corners;
- A hip or end gable roof with matching chimneys;
- Sash divided into small panes, typically six-over-six or nine-over-nine; and
- A centrally placed entrance with decorative pilasters, sidelights, transoms or fanlights around a single door.

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### 5.3.2 COMPARATIVE ANALYSIS

A comparative analysis was undertaken to establish a baseline understanding of similar recognized heritage properties in the Town of Niagara-on-the-Lake, to determine if the subject property *“is a rare, unique, representative or early example of a style, type, expression, material or construction method”* as described in O. Reg. 9/06.

Upon a review of the Niagara-on-the-Lake Municipal Heritage Register, comparative examples of Part IV and Part V designated properties do not exist in the Town of Niagara-on-the-Lake, as such, examples were drawn from the Canadian Register of Historic Places, Ontario Heritage Register and municipalities across Southern Ontario.

Institutional buildings were selected from this data set, with a preference for buildings of similar age, style, typology and material. No comparable examples were identified on the City of St. Catharines or City of Niagara Falls Municipal Heritage Register. Within in Ontario, one comparable example was identified on the Ontario Heritage Trust Register, the property is also included on the Canadian Register of Historic Places (see Table 5-1). This analysis does not represent all available properties, rather the examples are intended to provide a representative sample of similar building typologies.

**Table 5-1: Comparative analysis of heritage properties of a similar age, style and/or typology**

Address / Resource	Recognition	Photograph	Age	Material	Style
120 Duke Street West, Kitchener / St. Jerome's College / High School	Designated Part IV, included on the Canadian Register of Historic Places	 <p>(Canadian Register of Historic Places)</p>	1907	Brick	Early twentieth century former school building. Neoclassical style; four storeys; hipped roof with front-facing gable; rectangular plan; symmetrical 14-bay façade; central bay with a colossal portico in the Ionic order topped by a triangular pediment; red-brick exterior; stone foundation with ribbon mortar joints; rusticated raised basement and ground storey; entablature with bracketed cornice and simple frieze separating the third and attic storey; first storey, rectangular round headed window openings, and second and third storey, rectangular window openings.

The following architectural elements characteristic of nineteenth century Neo-Classical education buildings were observed:

- **Style:** The identified example is a four storey Neo-Classical former school building located within the village core.
- **Plan:** The example is built to a rectangular plan.
- **Roof:** The example has a hipped roof.
- **Cladding:** The identified example is clad in red brick and has a stone foundation with ribbon mortar joints
- **Façade:** The former school has a 14-bay symmetrical façade.
- **Decorative elements:** The identified example features a stone string course, stone pilasters with Ionic capitals, entablature with bracketed cornice and simple frieze separating the third and attic storey, and denticulated stone detailing around central entrance.
- **Central Entrance:** The example has a central bay consisting of a colossal portico in the Ionic order topped by a triangular pediment.
- **Windows:** The window openings on the first floor of the main façade constitute rectangular windows with round heads, the windows on the second and third storey constitute rectangular window openings.
- **Window Detailing:** The example has stone sills and a combination of stone lintels, keystones and brick voussoirs.
- **Alterations:** The example undergone alterations through additions and window replacement.

This comparative analysis suggests that the former school at 40 Platoff Street demonstrates representative elements of a Neo-Classical building including; the two-and-a-half storey height, rectangular plan; symmetrical façade with multiple bays; centrally placed entrance with semi-circular fanlight, sidelights and side gable roof with return eaves. Although not considered an early example of its type, the building is a fine example of its type and style, in spite of the replacement of some details in modern materials. The proportions and massing of the house are preserved, as are its simplicity and clean lines.

The former Niagara Public School represents a rare design for a small scale public building constructed in the nineteenth century. Educational buildings of this period were commonly constructed in the Gothic Revival style, which reflected religious and institutional architecture of the period. As noted in *The School House; Its Architecture, External and Internal Arrangements*, entrances were typically located in the gable ends and had separate entrances for boys and girls.

*The boys' and girls' entrances are at the east and west ends of the building -- such entrances having, each a hat and cloak room and masters 'or mistress room on either side. By this arrangement it will be seen that, except when actually in the presence of the masters, the male and female students are entirely separated.*

(Hodgins 1857: 9)

The singular, central entrance, with semicircular fanlight and stone arch is an uncommon feature for public education buildings of this period.



# 6 CONSULTATION

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## 6.1 TOWN OF NIAGARA-ON-THE-LAKE

The Town of Niagara-on-the-Lake's Heritage Planner was contacted via email on February 22, 2023 and via phone on February 28, 2023, to inquire about heritage interests related to the subject property at 40 Platoff Street, to request a copy of the Historic Old Town HCD Design Guidelines, the district plan boundary map and the property classification map. A response was received March 1, 2023, indicating that no guidelines have been completed for the Historic Old Town HCD beyond what is in the Town of Niagara-on-the-Lake's *Official Plan*. The Heritage Planner did not provide the district plan boundary map or the property classification map.

The Heritage Planner was contacted on March 16, 2023, to request inventory sheets for the properties located within the Queen-Picton HCD and adjacent to the subject property. To date, no response has been received.

The Town of Niagara-on-the-Lake Comprehensive Zoning By-Law was reviewed and it was confirmed that 40 Platoff Street is zoned as Established Residential (ER)-40 (Town of Niagara-on-the-Lake, 2009). Section 7.14.40 of the Comprehensive Zoning By-Law states:

40 Platoff Street – See Schedule 'A-1' (ER-40)

Notwithstanding the provisions of the Established Residential (ER) Zone, for lands identified as (ER-40) on Schedule 'A-1', the following provisions shall apply:

### 7.14.40.1 Permitted Uses

- a) A six (6) room Country Inn

### 7.14.40.2 Zone Requirements:

- a) Building setbacks as existing.

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## 6.2 FEDERAL AND PROVINCIAL REVIEW

The MCM's list of Heritage Conservation Districts was reviewed and the study area was not found to be located within a designated district (MCM, 2019). It is located south of the Queen-Picton HCD and within the Old Town HCD Plan, a proposed expansion area of the Queen-Picton HCD (Town of Niagara-on-the-Lake, 1986).

The Ontario Heritage Trust (OHT) plaque database was searched, the subject property is not commemorated with an OHT plaque nor is subject to an OHT conservation easement.

40 Platoff Street is located within the Town of Niagara-on-the-Lake National Historic Site of Canada. It is recognized by the *Historic Sites and Monuments Act* (R.S.C., 1985, c. H-4) and is included in the Federal Canadian Heritage Database.

# 7 DISCUSSION OF INTEGRITY

In a heritage conservation context, the concept of integrity is linked not with structural condition, but rather to the literal definition of “wholeness” or “honesty” of a place. The MCM *Heritage Identification & Evaluation Process* (2014:13) and *Ontario Heritage Tool Kit: Heritage Property Evaluation* (2006:26) both stress the importance of assessing the heritage integrity in conjunction with evaluation under O. Reg. 9/06 yet provide no guidelines for how this should be carried out beyond referencing the US National *Park Service Bulletin 8: How to Evaluate the Integrity of a Property* (US NPS n.d.). In this latter document, integrity is defined as ‘the ability of a property to convey its significance’, so can only be judged once the significance of a place is known.

Other guidance suggests that integrity instead be measured by understanding how much of the asset is “complete” or changed from its original or “valued subsequent configuration” (English Heritage 2008:45; Kalman 2014:203). Kalman’s *Evaluation of Historic Buildings*, for example, includes a category for “Integrity” with sub-elements of “Site”, “Alterations”, and “Condition” to be determined and weighted independently from other criteria such as historical value, rather than linking them to the known significance of a place.

Kalman’s approach is selected here and combined with research commissioned by Historic England (The Conservation Studio 2004), which proposed a method for determining levels of change in conservation areas that also has utility for evaluating the integrity of individual structures. The results for the property are presented in Table 7-1, and are considered when determining the CHVI of the property (see Section 8.0).

**Table 7-1: Heritage Integrity Analysis for the Property**

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Setting	The building is prominently sited on the corner of Platoff Street and Davy Street, with the building's active façade is oriented towards Platoff Street.	No alterations	100%	Very Good	No additional comments
Site location	The building is prominently sited on the corner of Platoff Street and Davy Street, with the building's active façade is oriented towards Platoff Street.	No alterations	100%	Very good	No additional comments
Footprint	Rectangular plan	No alteration	100%	Very good	No additional comments
Wall	Brick construction	No alterations	100%	Very good	No additional comments
Foundation	Stone faced in buff brick	No alterations	100%	Very good	Note that this rating refers to heritage integrity, not structural integrity
Exterior doors	Panelled wood	The original doors have been replaced	0%	Poor	No additional comments
Windows	Six-over-six double-hung sash, semi-circular fanlight with tracery, sidelights	All windows have been replaced with modern inserts, the semi-circular fanlight with tracery and sidelights remain	40%	Poor	No additional comments
Roof	Slate	Original slate roof replaced in asphalt shingle	0%	Poor	No additional comments
Chimneys	Interior chimneys in the gable ends	Both chimneys have been removed	0%	Poor	No additional comments
Water systems	Unknown, possibly copper	All water systems replaced	0%	Poor	No additional comments
Exterior decoration	Buff brick quoins, denticulated brick window surrounds, brick stringcourse, lintels and sills, semi-circular lintel with projecting keystone	No changes	100%	Very good	No additional comments
Exterior additions	No known additions	No additions	100%	Very good	A small addition was removed from the ground floor of the west elevation

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Landscape features	Street trees and landscaping in side yards, modest individual buildings with open side yard, oddly shaped lots caused by the diagonal street alignment	No alterations to front or side yards or lot shape or size	100%	Very Good	The property's landscape features have not been significantly altered through the 21st century
<b>AVERAGE OF RATE OF CHANGE/HERITAGE INTEGRITY</b>			65%	<b>Good</b>	<b>Rating of Good is based on original element survival rate of between 51 to 76 to 100%</b>

# 8 CULTURAL HERITAGE EVALUATION

## 8.1 EVALUATION USING ONTARIO REGULATION 9/06

The principal built heritage resource on the subject property at 40 Platoff Street is a two-and-a-half storey Neo-Classical structure. The subject property is designated under Part IV of the *Ontario Heritage Act*, and is located within the Town of Niagara-on-the-Lake National Historic Site of Canada, within the Historic Old Town HCD and adjacent to the Queen-Picton HCD.

O. Reg. 9/06 of the OHA provides criteria for determining whether a property has CHVI. If a property meets one or more of the criteria in O. Reg. 06, it is eligible for designation under the OHA. Table 8-1 presents the evaluation of the subject property using O. Reg. 06.

**Table 8-1: Evaluation of 40 Platoff Street as per O. Reg. 06**

O. REG. 9/06 CRITERIA	CRITERIA MET (Y/N)	JUSTIFICATION
<b>1. The property has design value or physical value because it,</b>		
i. is a rare, unique, representative or early example of a style, type, expression, material, or construction method,	Y	<p>Although not an early example of the style, 40 Platoff Street contains a rare example of a Neo-Classical purpose-built school, constructed in 1859. The former Niagara Public School represents a rare design for a small-scale public building constructed in the nineteenth century. Educational buildings of this period were commonly constructed in the Gothic Revival style, which reflected religious and institutional architecture of the period.</p> <p>In accordance with the findings of the comparative analysis in Section 5.3.2, the building demonstrates representative elements of the Neo-Classical style with its five-bay symmetrical façade, rectangular plan, end gable roof with return eaves, buff brick quoins and stringcourse, window ornamentation, and centrally placed entrance with a fanlight and tracery.</p> <p>A comparative analysis undertaken for the property determined there are no listed or designated Neo-Classical school buildings in the Town of Niagara-on-the-Lake or surrounding cities. The analysis identified one designated Part IV building (also listed on the Canadian Register of Historic Places) in Kitchener, also constructed in the Neo-Classical style.</p> <p>As such, 40 Platoff Street is considered a representative example of Neo-Classical architecture in the Town of</p>



		Niagara-on-the-Lake as well as a rare example of a small-scale public building constructed in the nineteenth century.
ii. displays a high degree of craftsmanship or artistic merit, or	Y	<p>The structure at 40 Platoff Street, built by master stone mason John Thornton, has been well-conserved and has undergone few alterations since its construction in 1859. Most exterior decorative elements, such as the dichromatic brickwork, denticulated window surrounds, quoins, string course and massive stone lintels and sills, remain intact. In these elements, Thornton's ability as a master mason are evident.</p> <p>The maintained integrity of the structure continues to display a high degree of craftsmanship.</p>
iii. demonstrates a high degree of technical or scientific achievement.	N	The structure does not display a high degree of technical or scientific achievement. The building displays construction techniques common to its time.
<b>2. The property has historical value or associative value because it,</b>		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	Y	<p>Along with the Niagara High School to the south on Castlereagh Street, the washroom building (263 Davy Street) and Junior school building (267 Davy Street), the former Niagara Public School represents a significant intact historical record of the origin and development of public educational institutions in the Town of Niagara. In 1854 James Crooks ensured that the land would be used for educational purposes and endowed four scholarships for that purpose. The Niagara Public School continued as a school until the construction of Parliament Oak School at the end of the Second World War.</p> <p>Between 1859 and 1949, the Niagara Public School was associated with a number of important citizens of Niagara including James Crooks, who sold the land to the Town, John Thornton, master mason who constructed the building and Janet Carnochan who taught at the school and was instrumental in recording and preserving Niagara's history.</p>
ii. yields, or has the potential to yield information that contributes to an understanding of a community or culture, or	N	The results of research did not indicate that 40 Platoff Street yields information that could contribute to the understanding of a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	N	The building was constructed by master mason John Thornton. Thornton was responsible for the construction of several historically important buildings in Niagara-on-the-Lake including the Court House at 26 Queen Street and St Andrews Presbyterian Church at 323 Simcoe Street. In

		<p>1860, he built the Lakeview House/Riverside Inn, which burned in 1990.</p> <p>The architect of the building at 40 Platoff Street is unknown.</p>
<b>3. The property has contextual value because it,</b>		
i. is important in defining, maintaining or supporting the character of an area,	Y	<p>40 Platoff Street is important in defining, maintaining and supporting the character of the Town of Niagara-on-the-Lake National Historic Site, which is largely comprised of mid-to-late-nineteenth century low-density residences. The property contributes to the continuity and character of the Davy Street and Platoff Avenue streetscapes, which are characterized by architectural styles typical of the mid-to-late-nineteenth century, with notable examples of Neo-Classical, Georgian and Edwardian residences. The former Niagara Public School building was constructed during a time of unprecedented growth in population in Upper Canada, which allowed for more government services and public buildings to house administrative offices, many of which were built in the Neo-Classical style.</p>
ii. is physically, functionally, visually or historically linked to its surroundings, or	Y	<p>The subject property is visually linked to its surroundings as it has undergone little alteration and continues to contribute visually to the historic streetscape along Davy Street and Platoff Street.</p> <p>The subject property is functionally and historically linked to the buildings at 263 Davy Street (the former washroom building) and at 267 Davy Street (the former Junior school building). These building were used as a school washroom and a junior schoolroom after their construction c. 1910 and c. 1919, respectively.</p>
iii. is a landmark.	N	<p>Although prominently sited on the corner of Platoff Street and Davy Street, the subject property has not been identified as a local landmark, nor is it known to be a destination or used as a navigation point such that it might be considered a landmark.</p>

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## 8.2 RESULTS OF THE CULTURAL HERITAGE EVALUATION

Based on the evaluation of the property at 40 Platoff Street against the criteria outlined in O. Reg. 9/06, the subject property has been confirmed to possess CHVI. As such, a Statement of Cultural Heritage Value or Interest has been provided.

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## 8.3 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

As the subject property at 40 Platoff Street was found to possess CHVI, the following Statement of Cultural Heritage Value or Interest and List of Heritage Attributes was prepared.

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### 8.3.1 DESCRIPTION OF HISTORIC PLACE

40 Platoff Street is a 0.14-hectare, rectangular property situated on corner of Platoff Street and Davy Street, in the former Town of Niagara, now the Town of Niagara-on-the-Lake. The key resource is a two-and-a-half storey house constructed in the Neo-Classical style. The brick house was constructed in 1859, purpose built as the Niagara Public School. The subject property is designated under Part IV of the *Ontario Heritage Act*, and is located within the Town of Niagara-on-the-Lake National Historic Site of Canada. The subject property is also within the Historic Old Town HCD, an expansion area of the Queen-Picton HCD.

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### 8.3.2 HERITAGE VALUE

40 Platoff Street is recognized for its design/physical, historical/associative, and contextual values.

Built in 1859, the former school building possesses design or physical value for the rare built heritage resource displaying a high degree of craftsmanship located on the property. Characteristic of the Neo-Classical style, the building is two-and-a-half storeys in height and features a five-bay symmetrical façade with a centrally placed semi-circular fanlight with fine tracery details and sidelights. The fanlight is capped with a cut stone, semi-circular lintel, with a projecting keystone. Other decorative elements indicative of the Neo-Classical style include the end gable roof with return eaves, buff brick quoins, denticulated windows surrounds, stone lintels and sills and a buff brick stringcourse.

The structure at 40 Platoff Street, built by master stone mason John Thornton, has been well-conserved and has undergone few alterations since its construction in 1859. Most exterior decorative elements, such as the dichromatic brickwork, denticulated window surrounds, quoins, string course and massive stone lintels and sills, remain intact. In these elements, Thornton's ability as a master mason are evident. The maintained integrity of the structure continues to display a high degree of craftsmanship.

The architectural style and grand front entrance of the former Niagara Public School represents rare design elements for a small-scale public building constructed in the nineteenth century. Educational buildings of this period were commonly constructed in the Gothic Revival style, which reflected religious and institutional architecture of the period. Additionally, as noted in *The School House; Its Architecture, External and Internal Arrangements*, these modest entrances were typically located in the gable ends and had separate entrances for boys and girls.

The property's contextual value relates to the contribution the structure makes to the continuity and character of the Platoff Street and Davy Street streetscapes, the Town of-Niagara-on-the-Lake National Historic Site of Canada, the Queen-Picton and Historic Old Town Heritage Conservation Districts. These areas are largely characterized by architectural styles typical of the mid-to-late-nineteenth century, with notable examples of Neo-Classical, Georgian and Edwardian residences. The subject property is functionally and historically linked to the buildings at 263 Davy Street (the former washroom building) and at 267 Davy Street (the former Junior school building). These buildings were used as a school washroom and a junior schoolroom after their construction c. 1910 and c. 1919, respectively. Together, these buildings represent a significant intact historical record of the origin and development of public educational institutions in the Town of Niagara.

Between 1859 and 1949, the Niagara Public School was associated with a number of important citizens of Niagara including James Crooks, who sold the land to the Town, John Thornton, master mason who constructed the building and Janet Carnochan who taught at the school and was instrumental in recording and preserving Niagara's history.

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### **8.3.3 LIST OF HERITAGE ATTRIBUTES**

The heritage attributes that contribute to the cultural heritage value or interest of 40 Platoff Street include:

#### **Residence Exterior**

- All elements related to the Neo-Classical architectural style of the house, including:
  - Two-and-a-half storey height and massing;
  - Symmetrical façade oriented towards Platoff Street;
  - Steeply pitched end gable roof with return eaves;
  - Red brick construction and brick with students' names carved into brick;
  - Buff brick quoins;
  - Buff brick stringcourse and frieze;
  - Stone sills and stone sills with slight point;
  - Windows and window openings, including:
    - Windows with stone lintels and sills;
    - Denticulated window surrounds;
  - Door openings in the north elevation, including:
    - Semi-circular fanlight with tracery; and
    - Stone arch with keystone
  - Foundation of fieldstone faced with buff brick.
- All elements related to the contextual value, including:



- Location of the building on the property and its contribution to the continuity and character of the Platoff Street and Davy Street streetscapes;
- Mature trees within the subject property; and
- Balance of building to its surrounding landscape.

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## 8.4 NIAGARA-ON-THE-LAKE, NATIONAL HISTORIC SITE OF CANADA

The description of the Niagara-on-the-Lake National Historic Site of Canada included below was extracted from Parks Canada's Historic Directory of Federal Designations (Parks Canada, nd) and details the significance and heritage attributes of the district and serves to aid in the Impact Assessment.

### **Description of Historic Place**

Niagara-On-The-Lake National Historic Site of Canada is an early-nineteenth century Loyalist town located on the southern shore of Lake Ontario, near the United States border. The historic district covers 25 city blocks and includes more than 90 residential, commercial, ecclesiastical and institutional buildings constructed between 1815 and 1859. The majority of the buildings are constructed in the British Classical Tradition, producing similarities in design, materials and scale. The wide, tree-lined streets within the district follow a late-eighteenth century grid plan. The district also includes a city park and two early-nineteenth-century cemeteries. The landscape is gently rolling in places, with a creek running through part of the district. The official recognition refers to the approximately 41 hectares of related buildings and landscapes within the district boundaries.

### **Heritage Value**

Niagara-on-the-Lake was designated a National Historic Site of Canada because:

- it possesses the best collection of buildings in Canada from the period following the War of 1812, that is from 1815 to 1859, especially houses, designed in the British Classical tradition as well as vernacular buildings with features derived from this tradition;
- as a whole, the buildings and landscape components, including the placement of houses close to the streets that define the four-acre-block grid, speak to the era when Niagara-on-the-Lake was a prominent and prosperous Loyalist colonial town; and
- the buildings within the historic district speak to the conservation movement in Canada, as many citizens have taken the initiative to have these buildings rehabilitated, renovated and/or restored to highlight their heritage character, expressing an exceptional commitment to the preservation of their town's heritage.

Niagara-on-the-Lake, formerly Newark, was established in 1779 as a supply depot for British Loyalist forces. By the end of the eighteenth century it had developed into a major military and cultural centre and served briefly as the capital of Upper Canada. The town's grid plan, laid out in 1794, was based on the Imperial model plan for new colonial towns. Niagara-on-the-Lake was destroyed by fire in 1813, and then rebuilt by Loyalist settlers. The streets retain their original arrangement, proportions and edge treatments. Between

1831 and 1859, the town prospered as a major shipping and shipbuilding port, and residents built or enlarged their houses and commercial buildings.

The district is dominated by the classically designed buildings erected during the period from 1815 to 1859. Most buildings retain their original siting close to the road and are of similar design, materials and scale, and the majority of buildings have been restored to resemble their original appearance. The commercial section of Queen Street, largely built between 1813 and 1840, illustrates the informal features of commercial streets characteristic of that period. The historic district is distinguished from later nineteenth century streetscapes by the individualized façades and the clear differentiation between buildings.

The residents of Niagara-on-the-Lake were among the earliest citizen's groups in Canada to make a strong commitment to the restoration of their built heritage. The Niagara Historical Society, established by residents in 1896, collected artifacts and documents relating to local history and published local histories. Beginning in the mid-1950s, individuals began to restore private properties to their nineteenth-century appearance and to promote conservation. In 1962 they formed the Niagara Foundation, a local advocacy and fundraising group dedicated to preserving the town's landmarks. The Niagara Foundation was instrumental in restoring several major buildings in the town. Niagara-on-the-Lake was one of the first Ontario municipalities to appoint a Local Architectural Conservation Advisory Committee to advise on local heritage. The town was designated as a provincial Heritage Conservation District in 1986 (Historic Sites and Monuments Board of Canada, Minutes, July 2003, April 2004).

### **Character-Defining Elements**

Key elements that relate to the heritage value of the collection of buildings built between 1815 and 1859 include:

- their location in Niagara-on-the-Lake, Ontario;
- their composition on a slight ascent, beginning close to the Niagara River on Front Street and extending approximately four blocks north to Castlereagh Street;
- their mixed use character, including residential, commercial, ecclesiastical and institutional buildings;
- the elements contributing to the coherence and harmony of the buildings in the British Classical tradition, notably the buildings' common scale, one- to two-story rectangular massing, the overall symmetrical composition of the three- to five-bay façades, the central entrances, and the relationship of the buildings close to the street;
- the Palladian, Neoclassical and vernacular buildings which incorporate classical features such as façades on a single plane and limited decoration around the main entrance or ground floor windows;
- the limited range of construction materials in keeping with early- nineteenth -century construction methods including frame buildings clad in clapboard (a few clad in shingles or vinyl siding), brick buildings, and roughcast-covered buildings;
- the two principal roof forms used among the buildings, including gabled roofs sloped to the front and rear and in some cases with side walls built up to meet the roof end chimneys, and hipped or cottage roofs with chimneys placed within the body of the house;

- the position of the openings and their design including those that consist of multi-light, casement and sash windows;
- viewsapes between the buildings, including views up and down Queen Street and other residential streets.

Key elements that relate to the era of Niagara-on-the-Lake as a Loyalist town include:

- its location north of the Niagara River near the Canada-United States border;
- its setting on an ascending piece of land between the Niagara River and Lake Ontario;
- the clear distinction between public and private spaces;
- the rectilinear grid plan of the district that features uniform four-acre blocks, generous street proportions (30 metres for the two main commercial streets and 20 metres for other residential streets), soft shoulders, and tree-lined streets;
- the concentration of commercial buildings along Queen Street and their features reflecting pre-1840 design including their separate façades, distinguished by design, materials, and physical separation of buildings;
- the landscape features, such as sections of One Mile Creek, that are still evident in several blocks of the district;
- the cemeteries associated with St. Mark's Anglican Church, St. Andrew's Presbyterian Church, and St. Vincent de Paul Roman Catholic Church;
- Simcoe Park, including its one-block scale, gently rolling terrain and open, park-like spaces;
- viewsapes from within the district to the Niagara River to the south and Lake Ontario to the north.

Key elements that relate to the conservation movement in Canada include:

- restoration work that is sympathetic to the original appearance and character of buildings built during the 1815 to 1859 period;
- restoration work that respects the evolution of buildings over the nineteenth century;
- infill buildings that harmonize with the early buildings of the city in scale and materials.

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## 8.5 HISTORIC OLD TOWN HERITAGE CONSERVATION DISTRICT PLAN

The description of the Historic Old Town HCD included below was extracted from the First Draft Historic Old Town HCD Plan (Town of Niagara-on-the-Lake, 2016 b) and details the provides the Statement of Cultural Heritage Value or Interest and goals for the HCD Plan. The Plan has not been completed or adopted by Town Council.

## **Statement of Cultural Heritage Value or Interest**

The historic value of the Historic Old Town Heritage Conservation District is well documented. Niagara was first populated by Aboriginal peoples 10,000 years ago.

European settlement began in the late 18th century when United Empire Loyalists housed in Fort Niagara after the American Revolution were given land in Niagara. Niagara experienced an impressive series of “firsts”. It was the first capital of Upper Canada and the first parliament was held here. Slavery was essentially abolished at the first parliament, a full 40 years before it was abolished in the rest of the British Empire. Niagara was also the location of the first library and the first newspaper in the new colony. Niagara was the site of some of the heaviest fighting in the War of 1812-1814 and the Town was destroyed by the retreating Americans in December 1813. However, the basic grid plan of the Town was maintained. The majority of the most significant buildings in the Georgian, Neo Classical and Regency styles from the early re-building period survive and are situated close to the street. These are cohesive in both design and scale, as are later buildings within the District.

The quality, quantity, variety and humanistic scale of the older building stock, the wide street and the expansive vista along Queen and Picton Streets to the Cenotaph and Simcoe Park give the business area a special sense of place.

The survival of Estate Lots and their significant built heritage resources and retention and enhancement of institutional open spaces contributes to a distinctive sense of time and place and informs the unique historic character and cultural heritage landscape qualities of the District.

The grid plan, the proportions of the streets, the uniform four acres size of the blocks, the general lack of curb and gutter in most of the residential area, the use of low picket fencing and the tree canopy and gardens provide a consistent and distinctive character to the area.

## **Historic Old Town District Plan Goals**

The objective of the Plan is to ensure the long term conservation of the cultural heritage resources and character of the historic Old Town of Niagara-on-the-Lake and to guide change so that it contributes to, and does not detract from, the District's cultural heritage value and context.

### **2.6.1 Physical Goals**

- To achieve a cohesive, well-designed district that emphasizes the human scale and historic character of the streetscape;
- To ensure the conservation and enhancement of the heritage attributes and distinguishing qualities of significant heritage buildings;
- To facilitate the restoration of significant heritage buildings and properties based on clear archival, pictorial and physical evidence;
- To promote retention and reuse of significant heritage buildings and properties;
- To take exceptional measures to prevent the demolition of significant heritage buildings;
- To retain or enhance the complementary character of contributing buildings;



- To discourage the demolition of contributing buildings; To guide the construction of new buildings which are of good design and are compatible with the District;
- To encourage improvements to other buildings and properties to further enhance the District's heritage character.

#### **2.6.2 Streetscape and Landscape Goals**

- To ensure that supporting infrastructure complements the human scale and heritage attributes of the District;
- To conserve the existing street pattern and the rural appearance of the streets in the residential area;
- To introduce features such as street lights, signage and pedestrian amenities, that will enhance the atmosphere and visual appeal of the streetscape;
- To minimize the impact of tourism and business activity in the surrounding residential areas;
- To facilitate the introduction and conservation of historic landscape treatments in both the public and private realm;
- To preserve trees and mature vegetation and to encourage the planting of native species;
- To conserve historic fences and introduce new fences that respect historic patterns and styles.
- To ensure that significant views and vistas throughout the District are identified and conserved.

#### **2.6.3 Community Goals**

- To foster community support, pride and appreciation of the heritage buildings, landscapes and District character and promote the need to conserve these resources for future generations;
- To facilitate public participation and involvement in the conservation of heritage resources and development of the District;
- To enhance the District as a place to live in as well as a place to shop and work.

#### **2.6.4 Economic Goals**

- To maintain and enhance Queen and Picton Streets as a progressive, profitable commercial district;
- To continue to develop policies and guidelines to improve parking and traffic problems and to mitigate their negative effects on the residential area;
- To use building stock in the commercial area in a full and profitable manner;
- To provide incentives and assistance to property owners to enable them to conserve and restore their properties;
- To acknowledge that the District is an asset that can be leveraged and celebrated in order to contribute to the greater economic success of the Town.

### **3.0 Review and Interpretation**

#### **3.1 Alterations to Old Town Historic District Properties**

In accordance with Section 42.1 of the *Ontario Heritage Act*, the Goals, Policies and Design Guidelines in this document will be used to review the types of alterations listed in Section 3.1.1, other than the exempted alterations in Section 3.1.2. The Niagara on-the-Lake Municipal Heritage Committee (MHC) will be responsible for review of most of the alterations listed in Section 3.1.1 with the exception of those listed in Section 3.1.3 which are delegated to the Director of Community and Development Services

##### **3.1.1 Alterations Subject to Review**

- The erection, demolition or removal of any building or structure, or the alteration of any part of the exterior of a building or structure;
- All matters relating to the Town of Niagara-on-the-Lake *Official Plan*, zoning, site plan control, development permits, severances, variances, signage, demolitions, building relocation, urban design and other related studies for properties within or adjacent to the Historic Old Town Heritage Conservation District;
- All municipal public works relating to the streetscape and cultural heritage landscape including signs, landscaping, lighting, street furniture, tree removal and planting, utility locations and street and infrastructure improvements.

#### **5.2 Alterations and Additions to Significant Properties**

- a) Conserve the heritage value and attributes of a heritage resource when constructing a new addition or any related new construction such as an accessory structure. The new work will be physically and visually compatible with, subordinate to, and distinguishable from the heritage resource.
- b) Alterations and additions to the heritage resource shall conform to the guidelines found in Part IV.

### **10.0 Residential Area Landscape/Streetscape Features**

Landscape features in residential area the Old Town Historic District, assist in expressing the character of both a property and the cultural heritage landscape of the District.

#### **10.1 Residential Landscape Treatment**

- a) Existing historical landscapes will be conserved.
- b) Planting of attractive and decorative gardens in the residential area will be encouraged.

#### **10.2 Trees and Shrubs**

- a) Mature trees in the public boulevard will be preserved except where removal is necessary due to disease or damage, or to ensure public health and safety, as certified by an arborist.
- b) Replacement of lost trees is required.

- c) New trees and shrubs will be native species or other appropriate species and will be enhanced to complement the heritage character of the streetscape. A list of appropriate street trees for the residential area will be developed.
- d) A tree by-law for the Old Town Historic District will be developed. It may also address trees on private property.

### **10.3 Fences**

- a) The erection of fences, especially picket fences, is encouraged around private properties in the residential area to complement its heritage character.
- b) Existing picket fences will be preserved and replaced in kind, if required.
- c) Fences will be regulated by the municipal fence by-law.

## **16.0 Municipal Policies**

Municipal planning policies may have a greater impact on the heritage character of a District than explicit heritage policies. It is important to integrate all policies that have a heritage impact in order to ensure the protection of the District's special character.

### **16.1 Recognizing the Historic Old Town Heritage Conservation District Plan**

The *Official Plan* contains policies that specifically address the Town's heritage conservation policies and, in particular, the Queen-Picton Heritage Conservation District.

#### **Policies:**

- a) The new *Official Plan* will refer to the Historic Old Town Heritage Conservation District and the District policies and will include a schedule of the District boundary.

### **16.2 Land Use in the District**

The use of land in the District is identified in the *Official Plan* and Zoning By-law. Major land uses in the District include residential, commercial and community facilities.

#### **Policies:**

- a) Existing land use designations in the *Official Plan* and prevailing zones in the Zoning By-law are supported.

### **16.3 Severances and Minor Variances**

In addition to matters addressed under the *Planning Act*, the Committee of Adjustment, consults with appropriate Town departments and agencies and has regard for adjacent use, access considerations and availability of services. In commenting to the Committee of Adjustment on applications for severance or minor variance in the District, the Town will only support such applications if the proposal is compatible with the objectives and policies of the District Plan.

**Policies:**

- a) Each severance and minor variance application will be evaluated as to its compatibility with the objectives and policies of the District Plan.



# 9 PROPOSED UNDERTAKING AND IMPACTS

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## 9.1 DESCRIPTION OF PROPOSED UNDERTAKING

The proposed development concept for 40 Platoff Street consists of the full retention of the existing Neo-Classical building, with no changes to the window or door openings. The proposed development would see the construction of a two-storey, residential addition in the existing rear yard of 40 Platoff Street. The proposed addition measures 11.583 metres by 5.169 metres, with a total gross floor area of 109.405 metres square (59.155 metres square on the first floor and 50.250 metres square on the second floor). There will be no changes to the surrounding landscape.

WSP has worked with the Jason Pizzicarola Design - Architects Inc. to revise the concept plans to propose an addition that is sympathetic to and distinguishable from the built heritage resource on the subject property. Building materials, such as brown/beige and white siding, have been incorporated to reflect the construction material of the house at 40 Platoff Street as well as the surrounding Niagara-on-the-Lake National Historic Site of Canada. The horizontal siding, end gable roof and fenestration on the west façade compliments the existing structure while being visually subordinate to the house. The proposed neutral colour scheme uses a colour pallet similar to that of the existing coach house.

The proposed addition has been designed in a manner that is reversible, applying the principal of minimal intervention to historic buildings. The footing and foundation of the proposed addition will be connected to the existing structure through approximately 12 holes (four in the footing and eight in the foundation), each with a diameter of 16 mm. These holes will facilitate the connection between the existing structure and the proposed addition through rebar.

No holes will be drilled into the red brick of the rear façade, rather, the addition on the first floor will be adhered to the existing building using a weatherproof adhesive. The adhesive is compatible for use on brick and can be removed without damage to the heritage material.

Flashing and caulking will be added to the connection points between the existing house and proposed structure to ensure there is no water ingress which could cause damage to the brick.

The proposed addition will have a front and rear setback of 7.5 metres and an interior side south setback of 1.232 metres.

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## 9.2 POTENTIAL IMPACTS

When determining the effects a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MCM *Heritage Resources in the Land Use Planning Process* advises that the following “negative impacts” be considered:

- *Destruction* of any, or part of any, significant heritage attributes, or features<sup>4</sup>
- *Alteration* that is not sympathetic, or is incompatible, with the historic fabric and appearance<sup>5</sup>
- *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden<sup>6</sup>
- *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship<sup>7</sup>
- *Direct or indirect obstruction* of significant views or vistas within, from, or of built and natural features<sup>8</sup>
- *A change in land use* such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces<sup>9</sup>
- *Land disturbances* such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource<sup>10</sup>

Other potential impacts may also be considered such as encroachment or construction vibration (Image 7). Historic structures, particularly those built-in masonry, are susceptible to damage from vibration caused by pavement breakers, plate compactors, utility excavations, and increased heavy vehicle travel in the immediate vicinity. Like any structure, they are also threatened by collisions with heavy machinery, subsidence from utility line failures, or excessive dust (Randl 2001:3-6).

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<sup>4</sup> This is used as an example of a *direct* impact in the MCM *Info Bulletin* 3.

<sup>5</sup> A *direct* impact in the MCM *Info Bulletin* 3.

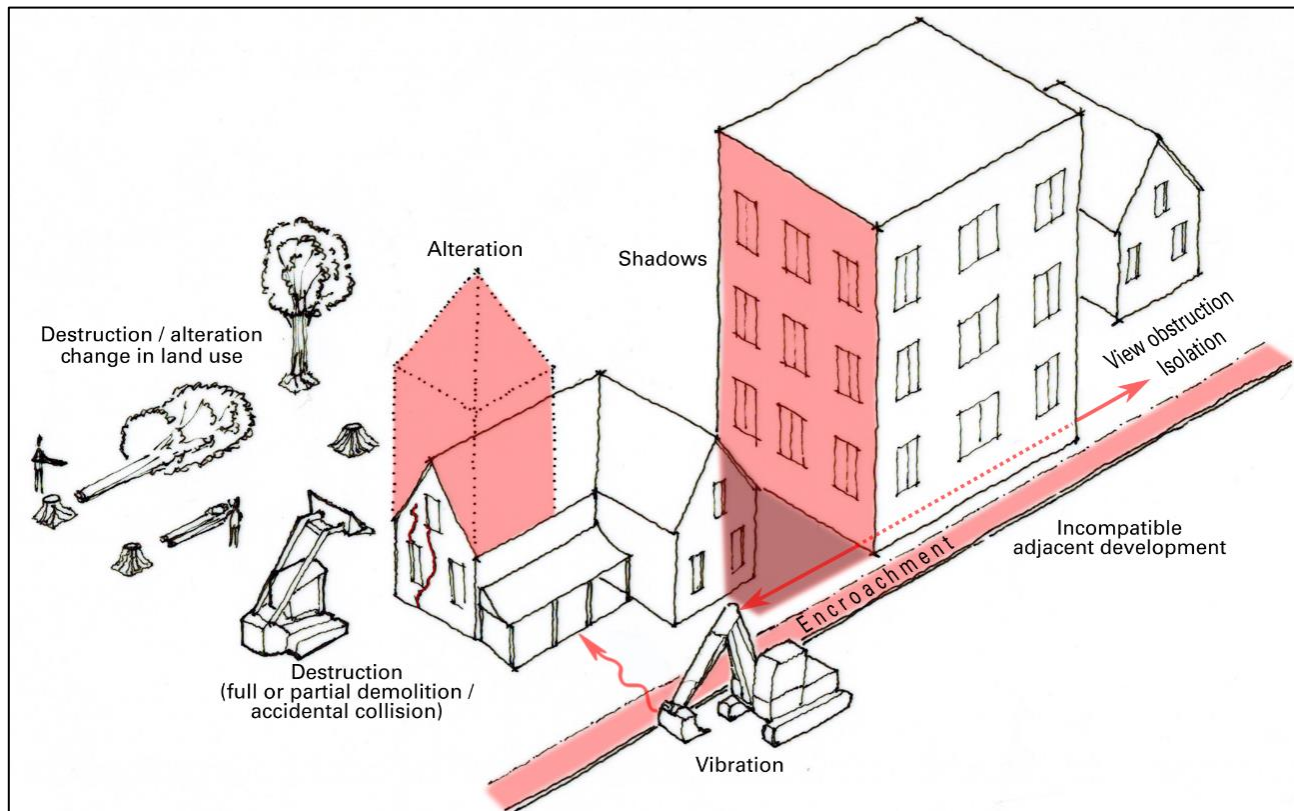
<sup>6</sup> An *indirect* impact in the MCM *Info Bulletin* 3.

<sup>7</sup> An *indirect* impact in the MCM *Info Bulletin* 3.

<sup>8</sup> An example of a *direct* and *indirect* impact in the MCM *Info Bulletin* 3. It is a *direct* impact when significant views or vistas within, from or of built and natural features are obstructed, and an *indirect* impact when "a significant view of or from the property from a key vantage point is obstructed".

<sup>9</sup> A *direct* impact in the MCM *Info Bulletin* 3.

<sup>10</sup> In the MTCS *Heritage Resources in the Land Use Planning Process* this refers only to archaeological resources but in the MCM *Info Bulletin* 3 this is an example of a *direct* impact to "provincial heritage property, including archaeological resources".



**Image 7: Examples of negative impacts**

Although the MCM *Heritage Resources in the Land Use Planning Process* identifies types of impact, it does not advise on how to describe its nature or extent. For this the MCM *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (1990:8) provides criteria of:

- **Magnitude** - amount of physical alteration or destruction that can be expected
- **Severity** - the irreversibility or reversibility of an impact
- **Duration** - the length of time an adverse impact persists
- **Frequency** - the number of times an impact can be expected
- **Range** - the spatial distribution, widespread or site specific, of an adverse impact
- **Diversity** - the number of different kinds of activities to affect a heritage resource

Since advice to describe magnitude is not included in the MCM *Guideline* or any other Canadian guidance, the ranking provided in the ICOMOS *Guidance on Heritage Impact Assessments for Cultural World Heritage Properties* (ICOMOS 2011: Appendix 3B) is adapted here. While developed specifically for World Heritage Sites, it is based on a general methodology for measuring the nature and extent of impact to cultural resources in urban and rural contexts developed for the UK Highways Agency *Design Manual for Roads and Bridges* [DMRB]: Volume 11, HA 208/07 (2007: A6/11) (Bond & Worthing 2016:166-167) and aligns with approaches developed by other national agencies such as the Irish Environmental Protection Agency (reproduced in Kalman & Létourneau 2020:390) and New Zealand Transport Agency (2015). The grading of impact is based on the “Guide to Assessing Magnitude of Impact” summarized in Table 9-1 below.

**Table 9-1: Impact Grading**

<b>Impact Grading</b>	<b>Description</b>
<b>Major</b>	Change to heritage attributes that contribute to the CHVI such that the resource is totally altered. Comprehensive changes to the setting.
<b>Moderate</b>	Change to many heritage attributes, such that the resource is significantly modified. Changes to the setting of a heritage property, such that it is significantly modified.
<b>Minor</b>	Change to heritage attributes, such that the asset is slightly different. Change to the setting of a heritage property, such that it is noticeably changed.
<b>Negligible/Potential</b>	Slight changes to heritage attributes or the setting that hardly affects it.
<b>None</b>	No change to heritage attributes or setting.

An assessment of potential impacts resulting from the proposed development on the property's CHVI and heritage attributes is presented in Table 9-2.

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## 9.3 EVALUATION OF IMPACTS

Below, Table 9-2 will evaluate impacts to 40 Platoff Street, adjacent properties and to the Niagara-on-the-Lake National Historic Site of Canada.



**Table 9-2: Evaluation of Impacts to subject property at 40 Platoff Street, adjacent properties, the Queen-Picton and Historic Old Town HCD and to the Niagara-on-the-Lake National Historic Site of Canada**

Criteria	Evaluation
<b><i>Destruction</i></b> of any, or part of any, significant heritage attributes or features;	<b>40 Platoff Street</b>  <b>Impact:</b> None  <b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the structure, its location on the property or its lot size, which relate to its physical value.
	<b>Niagara-on-the-Lake National Historic Site of Canada</b>  <b>Impact:</b> None  <b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the National Historic Site.
	<b>Historic Old Town HDC</b>  <b>Impact:</b> None  <b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the HDC.
	<b>Queen-Picton HDC</b>  <b>Impact:</b> None  <b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the HDC.
	<b>30 Platoff Street</b>  <b>Impact:</b> None  <b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the structure, its location on the property or its lot size, which relate to its physical value.

	<p><b>35 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the structure, its location on the property or its lot size, which relate to its physical value.</p>
	<p><b>39 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the structure, its location on the property or its lot size, which relate to its physical value.</p>
	<p><b>43 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the structure, its location on the property or its lot size, which relate to its physical value.</p>
	<p><b>54 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the structure, its location on the property or its lot size, which relate to its physical value.</p>
	<p><b>244 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the structure, its location on the property or its lot size, which relate to its physical value.</p>
	<p><b>263 Davy Street</b></p> <p><b>Impact:</b> None</p>

	<p><b>Rationale:</b> The proposed development concept does not involve the destruction of the heritage attributes of the structure, its location on the property or its lot size, which relate to its physical value.</p>
	<p><b>Surface parking lot</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development concept does not involve the destruction of any elements of the surface parking lot.</p>
<p><i><b>Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;</b></i></p>	<p><b>40 Platoff Street</b></p> <p><b>Impact:</b> Moderate</p> <p><b>Rationale:</b> The proposed development involves drilling approximately 12 holes (four in the footing and eight in the foundation), in the foundation and footing of the existing building, each with a diameter of 16 mm. These holes will irreversibly alter the existing foundation.</p> <p>The introduction of the proposed two-storey addition on the subject property will result in a contemporary alteration to the current historic lot. The use of brown / beige siding and simple white window walls aid in providing a transition to the modern building as well as a neutral background that does not compete with the architectural detail of the extant historic structure. The proposed two-storey height of the addition does not dominate the extant house and the use of sympathetic building materials further aids in the transition between both buildings.</p>
	<p><b>Niagara-on-the-Lake National Historic Site of Canada</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will not result in the alteration of any heritage attributes of the National Historic Site.</p>
	<p><b>Historic Old Town HDC</b></p> <p><b>Impact:</b> None</p>

	<p><b>Rationale:</b> The proposed development concept does not involve the alteration of the heritage attributes of the HCD.</p>
	<p><b>Queen-Picton HDC</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development concept does not involve the alteration of the heritage attributes of the HCD.</p>
	<p><b>30 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the alteration of any heritage attributes of 30 Platoff Street.</p>
	<p><b>35 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the alteration of any heritage attributes of 35 Platoff Street.</p>
	<p><b>39 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the alteration of any heritage attributes of 39 Platoff Street.</p>
	<p><b>43 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the alteration of any heritage attributes of 43 Platoff Street.</p>
	<p><b>54 Platoff Street</b></p>



	<p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the alteration of any heritage attributes of 54 Platoff Street.</p>
	<p><b>244 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the alteration of any heritage attributes of 244 Davy Street.</p>
	<p><b>263 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the alteration of any heritage attributes of 263 Davy Street.</p>
	<p><b>Surface parking lot</b></p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the alteration of the parking lot.</p>
<p><i><b>Shadows</b> created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;</i></p>	<p><b>40 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on the property at 40 Platoff Street.</p>
	<p><b>Niagara-on-the-Lake National Historic Site of Canada</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on the National Historic Site.</p>
	<p><b>Historic Old Town HDC</b></p>

	<p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on the HCD.</p>
	<p><b>Queen-Picton HDC</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on the HCD.</p>
	<p><b>30 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on this adjacent property.</p>
	<p><b>35 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on this adjacent property.</p>
	<p><b>39 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on this adjacent property.</p>
	<p><b>43 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on this adjacent property.</p>
	<p><b>54 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on this adjacent property.</p>

	<p><b>244 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on this adjacent property.</p>
	<p><b>263 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on this adjacent property.</p>
	<p><b>Surface parking lot</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed addition will not result in additional shadows cast on this adjacent property.</p>
<p><i><b>Isolation</b> of a heritage attribute from its surrounding environment, context or a significant relationship;</i></p>	<p><b>40 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be located on the rear elevation of the building and will not isolate 40 Platoff Street from its surrounding environment, context or significant relationship as it will be located behind the structure.</p>
	<p><b>Niagara-on-the-Lake National Historic Site of Canada</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will not isolate the heritage attributes of the National Historic Site from its surrounding environment, context or significant relationship.</p>
	<p><b>Historic Old Town HDC</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will not isolate the heritage attributes of the HCD from its surrounding environment, context or significant relationship.</p>

	<p><b>Queen-Picton HDC</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will not isolate the heritage attributes of the HCD from its surrounding environment, context or significant relationship.</p>
	<p><b>30 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the isolation of any heritage attributes of 30 Platoff Street.</p>
	<p><b>35 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the isolation of any heritage attributes of 35 Platoff Street.</p>
	<p><b>39 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the isolation of any heritage attributes of 39 Platoff Street.</p>
	<p><b>43 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the isolation of any heritage attributes of 43 Platoff Street.</p>
	<p><b>54 Platoff Street</b></p> <p><b>Impact:</b> None</p>

	<p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the isolation of any heritage attributes of 54 Platoff Street.</p>
	<p><b>244 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the isolation of any heritage attributes of 244 Davy Street.</p>
	<p><b>263 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the isolation of any heritage attributes of 263 Davy Street.</p>
	<p><b>Surface parking lot</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The proposed development will be limited to the subject property and will not result in the isolation of surrounding properties.</p>
<p><b><i>Direct or indirect obstruction of significant views or vistas within, from, or to built and natural features;</i></b></p>	<p><b>40 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
	<p><b>Niagara-on-the-Lake National Historic Site of Canada</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> As the proposed addition will be located on the rear elevation of the structure, there will be no impacts to significant views identified the Character-Defining Elements of the National Historic Site, including in between buildings or to view up and down residential streets.</p>
	<p><b>Historic Old Town HDC</b></p>



	<p><b>Impact:</b> None</p> <p><b>Rationale:</b> As the proposed addition will be located on the rear elevation of the structure no vistas or views identified in the HCD will be impacted.</p>
	<p><b>Queen-Picton HDC</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> As the proposed addition will be located on the rear elevation of the structure no vistas or views identified in the HCD will be impacted.</p>
	<p><b>30 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
	<p><b>35 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
	<p><b>39 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
	<p><b>43 Platoff Street</b></p> <p><b>Impact:</b> None</p>

	<p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
	<p><b>54 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
	<p><b>244 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
	<p><b>263 Davy Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
	<p><b>Surface parking lot</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> No significant views or vistas within, from or to the subject property were identified through this study.</p>
<p><b><i>A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;</i></b></p>	<p><b>40 Platoff Street</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.</p>
	<p><b>Niagara-on-the-Lake National Historic Site of Canada</b></p> <p><b>Impact:</b> None</p>

	<p><b>Rationale:</b> The land use of the National Historic Site will not change as a result of the proposed addition.</p>
	<p><b>Historic Old Town HDC</b></p>
	<p><b>Impact:</b> None</p>
	<p><b>Rationale:</b> The land use of this HCD will not change as a result of the proposed addition.</p>
	<p><b>Queen-Picton HDC</b></p>
	<p><b>Impact:</b> None</p>
	<p><b>Rationale:</b> The land use of this HCD will not change as a result of the proposed addition.</p>
	<p><b>30 Platoff Street</b></p>
	<p><b>Impact:</b> None</p>
	<p><b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.</p>
	<p><b>35 Platoff Street</b></p>
	<p><b>Impact:</b> None</p>
	<p><b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.</p>
	<p><b>39 Platoff Street</b></p>
	<p><b>Impact:</b> None</p>
	<p><b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.</p>
	<p><b>43 Platoff Street</b></p>
	<p><b>Impact:</b> None</p>
	<p><b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.</p>
	<p><b>54 Platoff Street</b></p>

	<b>Impact:</b> None
	<b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.
	<b>244 Davy Street</b>
	<b>Impact:</b> None
	<b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.
	<b>263 Davy Street</b>
<b>Land disturbances</b> such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.	<b>Impact:</b> None
	<b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.
	<b>Surface parking lot</b>
	<b>Impact:</b> None
	<b>Rationale:</b> The land use of this property will not change as a result of the proposed addition.
	<b>40 Platoff Street</b>
	<b>Impact:</b> Moderate
	<b>Rationale:</b> Vibration impacts from the construction of the proposed addition on the subject property may present indirect impacts to the structure at 40 Platoff Street.
	A Stage 1-2 Archaeological Assessment was completed for a portion of the subject property (Detritus, 2002). The Stage 1-2 Archaeological Assessment did not identify archaeological resources and no further work was recommended. The recommendation applied only to the portion of the study area to be subject to construction and development activities. If in the future the remaining portions of the subject property which were not included in the current Study Area will be impacted by development, then a Stage 1 Archaeological Assessment is required, conducted according to Section 1.1 of the Standards and Guidelines (MCM, 2011).
	<b>Niagara-on-the-Lake National Historic Site of Canada</b>

	<b>Impact:</b> None
	<b>Rationale:</b> Land disturbance will not impact the heritage attributes of the National Historic Site.
	<b>Historic Old Town HDC</b>
	<b>Impact:</b> None
	<b>Rationale:</b> Land disturbance will not impact the heritage attributes of the HCD.
	<b>Queen-Picton HDC</b>
	<b>Impact:</b> None
	<b>Rationale:</b> Land disturbance will not impact the heritage attributes of the HCD.
	<b>30 Platoff Street</b>
	<b>Impact:</b> Moderate
	<b>Rationale:</b> Vibration impacts from the construction of the proposed development on the subject property may present indirect impacts to the structure at 30 Platoff Street.
	<b>35 Platoff Street</b>
	<b>Impact:</b> Moderate
	<b>Rationale:</b> Land disturbance will not impact the heritage attributes of 35 Platoff Street.
	<b>39 Platoff Street</b>
	<b>Impact:</b> None
	<b>Rationale:</b> Land disturbance will not impact the heritage attributes of 39 Platoff Street.
	<b>43 Platoff Street</b>
	<b>Impact:</b> None
	<b>Rationale:</b> Land disturbance will not impact the heritage attributes of 43 Platoff Street.



	<p><b>54 Platoff Street</b></p> <p><b>Impact:</b> Moderate</p> <p><b>Rationale:</b> Land disturbance will not impact the heritage attributes at 54 Platoff Street.</p>
	<p><b>244 Davy Street</b></p> <p><b>Impact:</b> Moderate</p> <p><b>Rationale:</b> Land disturbance will not impact the heritage attributes at 244 Davy Street.</p>
	<p><b>263 Davy Street</b></p> <p><b>Impact:</b> Moderate</p> <p><b>Rationale:</b> Vibration impacts from the construction of the proposed development on the subject property may present indirect impacts to the structure at 236 Davy Street.</p>
	<p><b>Surface parking lot</b></p> <p><b>Impact:</b> None</p> <p><b>Rationale:</b> Land disturbance will not impact the surface parking lot.</p>

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## 9.4 RESULTS OF IMPACT ASSESSMENT

The preceding impact assessment has determined that without conservation or mitigation measures, the construction of the proposed addition will result in:

- Moderate direct impacts to the identified heritage attributes of 40 Platoff Street through the alteration of the foundation and footings and the construction of the proposed two-storey addition;
- Potential vibration impacts to the structures at 30 Platoff Street, 40 Platoff Street, and 263 Davy Street;
- No impacts to the identified heritage attributes of 35 Platoff Street, 39 Platoff Street, 41 Platoff Street, 54 Platoff Street, 244 Davy Street or the surface parking lot on Platoff Street; and
- No impacts to the identified heritage attributes of the Town of Niagara-on-the-Lake National Historic Site of Canada of, the Queen-Picton Heritage Conservation District or the Historic Old Town Heritage Conservation District.

An options analysis of potential alternatives, mitigation and conservation options is provided in Section 10.

# 10 ALTERNATIVES, MITIGATION AND CONSERVATION OPTIONS

The Town of Niagara-on-the-Lake's Draft *Heritage Impact Assessment Guidelines* requires that options be provided that explain how cultural heritage resources may be conserved. As such, the following alternatives were considered to avoid or reduce adverse impacts to the heritage attributes of the properties at 40 Platoff Street, 30 Platoff Street, 35 Platoff Street, 39 Platoff Street, 43 Platoff Street, 54 Platoff Street, 244 Davy Street., 263 Davy Street, the surface parking lot on Platoff Street, east of Haines Lane, the Town of Niagara-on-the-Lake National Historic Site, the Queen-Picton Heritage Conservation District or the Historic Old Town Heritage Conservation District:

- 1) Preserve and maintain the property at 40 Platoff Street as is with no further development.
- 2) Develop 40 Platoff Street as proposed in Appendix B, with a two-storey addition with an end gable roof and horizontal exterior cladding.
- 3) Develop 40 Platoff Street as proposed in Appendix C with a one-and-a-half storey addition with a flat roof and vertical exterior cladding.

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## 10.1 ALTERNATIVES, MITIGATION AND CONSERVATION OPTIONS ANALYSIS

Table 10-1: Alternatives, Mitigation and Conservation Options			
OPTIONS	ADVANTAGES	DISADVANTAGES	MITIGATION/ CONSERVATION NOTES
1) Preserve and maintain the property at 40 Platoff Street as is with no further development.	<p>This option would maintain the general heritage principle that prefers minimal intervention to a heritage resource. It would ensure that the subject property retains all identified heritage attributes and that there would be no alterations to the heritage attributes of 40 Platoff Street.</p>	<p>The construction of the rear addition ensures a viable and stable use that will improve the probability that the site will be utilized and conserved in the long-term. The limited indirect and direct impacts of the proposed addition are not cause to deny the approval of the Minor Variance application.</p>	<p>No mitigation is required for this option.</p>
2) Develop 40 Platoff Street as proposed in Appendix B, with a two-storey addition with an end gable roof and horizontal exterior cladding.	<p>The proposed addition will not result in direct impacts to the heritage attributes of Platoff Street 30, Platoff Street 35, Platoff Street 39, Platoff Street 43 Platoff Street, 54 Platoff Street, 244 Davy Street, 263 Davy Street or the surface parking lot on Platoff Street. Nor will it result in impacts to the Niagara-on-the-Lake National Historic Site, the Historic Old Town HCD or the Queen-Picton CD. As such, it is ensured that the properties will retain all identified heritage attributes.</p> <p>Many indirect impacts to 40 Platoff Street have been further mitigated through the addition's sympathetic design concept arrived at through iterative consultation with the Client, and the building elevation refinement resulting in a design which is more in keeping with the surrounding residential structures.</p> <p>Additionally, irreversible alterations to the rear wall of 40 Platoff Street was avoided through consultation with Jason Pizzicarola Design - Architects Inc. Rather than attaching the proposed addition to the house by means of rebar through the brick, the roof and wall connections will be adhered to the existing brick building using a reversible adhesive which is suited to use on brick.</p> <p>This option is consistent with Standard 3 of the <i>Standards and Guidelines</i>, which direct to "Conserve heritage value by adopting an approach calling for minimal intervention;" Standard 5, "Find a use for an historic place that requires minimal or no change to its character-defining elements;" Standard 11, "Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place", and Standard 12, "Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future".</p> <p>All of the extant landscape features will remain intact including the row of cedar trees along Davy Street, acting as a vegetative buffer between the proposed addition and Davy Street. These trees would assist in reducing the visual impact of the modern addition against the nineteenth century house. The proposed addition will be set back approximately 20 metres from the eastern property line and, during the spring, summer and a portion of the fall season, will not be visible from the public right of way due to mature tree cover.</p> <p>This option is also consistent with Section 18.2 (5) of the Town of Niagara-on-the-Lake <i>Official Plan</i> which aims "to develop and encourage creative, appropriate and economically viable uses of heritage resources." Section 6.2 of the <i>Official Plan</i> notes the existence of Bed and Breakfast homes in designated heritage residential dwellings, or those that have potential for designation, could contribute to the preservation of their heritage character and provide financial support for the ongoing maintenance of the heritage features of the property. Council wishes to encourage the conservation of heritage buildings and supports the use of heritage properties as Bed and Breakfast Homes.</p> <p>The proposed addition also finds support in Section 2.6.3 of the Historic Old Town HCD Plan which seeks "to enhance the District as a place to live in as well as a place to shop and work".</p> <p>The 7.728 metre height of the proposed addition follows Section 6.4 of the Town of Niagara-on-the-Lake <i>Official Plan</i>, which states "The Town of Niagara-on-the-Lake consists of low-rise structures in a small-town setting with a large number of historic buildings. Generally, the building height has not exceeded 11 metres (36 feet). For the most part this low-rise character should be maintained and the implementing zoning by-law should limit building height accordingly".</p> <p>Overall, the proposed addition will not detract from the adjacent properties which include detached residences set amid gardens and trees and widely spaced buildings with varied setbacks, which are characteristic of this area and create a "countryesque" feeling.</p>	<p>Direct impacts would occur to the rear foundation and footings of the existing heritage structure. The proposed development involves drilling approximately 12 holes (four in the footing and eight in the foundation), in the foundation and footing of the existing building, each with a diameter of 16 mm. These holes will irreversibly alter the existing foundation.</p> <p>The proposed addition will be located immediately adjacent to the rear elevation of the building at 40 Platoff Street. This proximity increases the likelihood of the subject property experiencing indirect impacts due to land disturbance, construction vibrations, and the potential for direct impacts in the form damage from construction activities and machinery.</p>	<p>In accordance with the MCM's <i>Heritage Resources in Land Use Planning Process</i> design guidelines that harmonize mass, setback, setting and materials is a mitigation measure to reduce impacts to cultural heritage resources. The design of the building immediately surrounding the historic structure should be sensitively designed to reflect a similar massing, height, and materials.</p> <p>Given the proximity of the adjacent heritage properties to the proposed limits of grading, a comprehensive pre-construction survey should be completed and a Zone of Influence Construction Vibration Study completed to monitor and mitigate vibration impacts during construction. Care should be taken not to compromise the existing foundation during excavations for the new building.</p> <p>A Construction Hoarding Plan should be prepared detailing where temporary construction fencing should be erected to buffer the construction area and the building at 40 Platoff Street. Fencing should be erected at a sufficient distance to ensure that there will be no direct or indirect impacts to the built heritage resource or landscape features from construction activities or equipment.</p> <p>The objective of the Historic Old Town HCD Plan is to ensure the long-term conservation of the cultural heritage resources and character of the historic Old Town of Niagara-on-the-Lake and to guide change so that it contributes to, and does not detract from, the District's cultural heritage value and context.</p> <p>Indirect impacts to the character of the Town of Niagara-on-the-Lake National Historic Site of Canada and the Historic Old Town HCD can be mitigated in part by ensuring the addition is sympathetic in design by incorporating simple elevations and massing providing a transition in height to the neighbouring buildings, and the incorporation of building materials reflective of the surrounding building stock. This approach finds support in Section 5.2 of the Historic Old Town Heritage Conservation District Plan. Section 5.2 (a) states that "alterations to significant properties shall conserve the heritage value and attributes of a heritage resource when constructing a new addition or any related new construction such as an accessory structure. The new work will be physically and visually compatible with, subordinate to, and distinguishable from the heritage resource".</p> <p>A heritage permit is required for the erection, demolition, or removal of any building or structure within the Historic Old Town HCD. New construction should follow the guidelines provided in Section IV of the Historic Old Town HCD Plan.<sup>11</sup></p> <p>As per Section 6.33 (1) of the Town of Niagara-on-the-Lake <i>Official Plan</i>, existing trees must not be unnecessarily removed and that wherever possible existing trees should be preserved and protected. Prior to construction activities, a Tree Inventory and Assessment report, prepared by an ISA Certified Arborist, should be prepared for the subject property. The plan should provide an assessment of applicable policy, methods and results of the tree inventory completed for the subject property. The plan should also outline the trees within the subject property that will be retained or require removal. The Tree Preservation Plan should provide recommendations on replacement tree species as well as planting locations.</p> <p>The subject property is designated as Established Residential 40, within the Town of Niagara-on-the-Lake <i>Official Plan</i>. This designation permits a six-room Country Inn.</p>
3) Develop 40 Platoff Street as proposed in Appendix C with a one-and-a-half storey addition with a flat roof and vertical exterior cladding.	<p>The proposed addition will not result in direct impacts to the heritage attributes of 30, 35, 39, 43 or 54 Platoff Street, 244 or 263 Davy Street, the surface parking lot on Platoff Street. or the Niagara-on-the-Lake National Historic Site. As such, it is ensured that the properties will retain all identified heritage attributes.</p> <p>Many indirect impacts to 40 Platoff Street have been further mitigated through the development's sympathetic design concept arrived at through iterative consultation with the Client, and the building elevation refinement resulting in a design which is more in keeping with the surrounding residential structures.</p> <p>Additionally, irreversible alterations to the rear wall of 40 Platoff Street was</p>	<p>Direct impacts would occur to the rear foundation of the building. The proposed development involves drilling approximately 12 holes (four in the footing and eight in the foundation), in the foundation and footing of the existing building, each with a diameter of 16 mm. These holes will irreversibly alter the existing foundation.</p> <p>The design of the Option is in direct contravention of Standard 11, "Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place"</p> <p>This option is inconsistent with Section 5.2 (a) of the Old Town HCD Plan which states:</p>	<p>In accordance with the MCM's <i>Heritage Resources in Land Use Planning Process</i> design guidelines that harmonize mass, setback, setting and materials is a mitigation measure to reduce impacts to cultural heritage resources. The design of the building immediately surrounding the historic structure should be sensitively designed to reflect a similar massing, height, and materials.</p> <p>Given the proximity of the adjacent heritage properties to the proposed limits of grading, a comprehensive pre-construction survey should be completed and a Zone of Influence Construction Vibration Study to monitor and mitigate vibration impacts during construction. Care should be taken not to compromise the existing foundation during excavations for the new building.</p> <p>A Construction Hoarding Plan should be prepared detailing where temporary construction fencing</p>

<sup>11</sup> The Town of Niagara-on-the-Lake Heritage Planner was contacted on February 22, 2023, requesting the Design Guidelines in Part IV of the HCD Plan. A response was received on March 1, indicating no designs guidelines have been completed for Old Town beyond what is in the Town's *Official Plan*.

OPTIONS	ADVANTAGES	DISADVANTAGES	MITIGATION/ CONSERVATION NOTES
	<p>avoided through consultation with Jason Pizzicarola Design - Architects Inc. Rather than attaching the proposed addition to the house by means of rebar through the brick, the roof and wall connections will be adhered to the existing brick building using a reversible adhesive which is suited to use on brick.</p> <p>This option is consistent with Standard 3 of the <i>Standards and Guidelines</i>, which direct to “Conserve heritage value by adopting an approach calling for minimal intervention;” Standard 5, “Find a use for an historic place that requires minimal or no change to its character-defining elements;” and Standard 12, “Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future”.</p> <p>All of the extant landscape features will remain intact including the row of cedar trees along Davy Street, acting as a vegetative buffer between the proposed addition and Davy Street. These trees would assist is reducing the visual impact of the modern addition against the nineteenth century house. The proposed addition will be set back approximately 20 metres from the eastern property line and, during the spring, summer and a portion of the fall season, will not be visible from the public right of way due to mature tree cover.</p> <p>This option is also consistent with Section 18.2 (5) of the Town of Niagara-on-the-Lake <i>Official Plan</i> which aims to “to develop and encourage creative, appropriate and economically viable uses of heritage resources.” Section 6.2 of the <i>Official Plan</i> notes the existence of Bed and Breakfast homes in designated heritage residential dwellings, or those that have potential for designation, could contribute to the preservation of their heritage character and provide financial support for the ongoing maintenance of the heritage features of the property. Council wishes to encourage the conservation of heritage buildings and supports the use of heritage properties as Bed and Breakfast Homes.</p> <p>The proposed addition also finds support in Section 2.6.3 of the Historic Old Town HCD Plan which seeks “to enhance the District as a place to live in as well as a place to shop and word”.</p> <p>The 5.843 metre height of the proposed addition follows Section 6.4 of the Town of Niagara-on-the-Lake <i>Official Plan</i>, which states “The Town of Niagara-on-the-Lake consists of low-rise structures in a small town setting with a large number of historic buildings. Generally, the building height has not exceeded 11 metres (36 feet). For the most part this low-rise character should be maintained and the implementing zoning by-law should limit building height accordingly”.</p>	<p>Conserve the heritage value and attributes of a heritage resource when constructing a new addition or any related new construction such as an accessory structure. The new work will be physically and visually compatible with, subordinate to, and distinguishable from the heritage resource.</p> <p>This option is also inconsistent with Section 18.2 (2) of the Town of Niagara-on-the-Lake <i>Official Plan</i> which states: encourage good contemporary building design by using sympathetic forms while avoiding simply copying historic architecture. To restrict building design that is not compatible with existing structures or unsympathetic alterations to buildings that would detract from the character of a Heritage Resource.</p> <p>Overall, the proposed design of Option B is not compatible with the adjacent properties which include detached residences set amid gardens and trees and widely spaced buildings with varied setbacks are characteristic of this area and create a “countryesque” feeling.</p>	<p>should be erected to buffer the construction area and the building at 40 Platoff Street. Fencing should be erected at a sufficient distance to ensure that there will be no direct or indirect impacts to the built heritage resources or landscape features from construction activities or equipment.</p> <p>The objective of the Historic Old Town HCD Plan is to ensure the long-term conservation of the cultural heritage resources and character of the historic Old Town of Niagara-on-the-Lake and to guide change so that it contributes to, and does not detract from, the District’s cultural heritage value and context.</p> <p>Indirect impacts to the character of the Town of Niagara-on-the-Lake National Historic Site of Canada and the Historic Old Town HCD can be mitigated in part by ensuring the development is sympathetic in design by incorporating simple elevations and massing providing a transition in height to the neighbouring buildings, and the incorporation of building materials reflective of the surrounding building stock. This approach finds support in Section 5.2 of the Historic Old Town Heritage Conservation District Plan. Section 5.2 (a) states that alterations to significant properties shall conserve the heritage value and attributes of a heritage resource when constructing a new addition or any related new construction such as an accessory structure. The new work will be physically and visually compatible with, subordinate to, and distinguishable from the heritage resource.</p> <p>A heritage permit is required for the erection, demolition, or removal of any building or structure within the Historic Old Town HCD. New construction should follow the guidelines provided in Section IV of the Historic Old Town HCD Plan.</p> <p>As per Section 6.33 (1) of the Town of Niagara-on-the-Lake <i>Official Plan</i>, existing trees must not be unnecessarily removed and that wherever possible existing trees should be preserved and protected. Prior to construction activities, a Tree Inventory and Assessment report, prepared by an ISA Certified Arborist, should be prepared for the subject property. The plan should provide an assessment of applicable policy, methods and results of the tree inventory completed for the subject property. The plan should also outline the trees within the subject property that will be retained or require removal. The Tree Preservation Plan should provide recommendations on replacement tree species as well as planting locations.</p> <p>The subject property is designated as Established Residential 40, within the Town of Niagara-on-the-Lake <i>Official Plan</i>. This designation permits a six-room Country Inn.</p>



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## 10.2 RESULTS OF OPTIONS ANALYSIS AND CONSERVATION RECOMMENDATIONS

Based on the review of the alternatives, mitigation and conservation options analysis presented in Table 10-1, Option 1, preserve and maintain the property at 40 Platoff Street as is with no further development, is the preferred option from a cultural heritage perspective, followed by Option 2, develop 40 Platoff Street with a two-storey addition with an end gable roof and horizontal exterior cladding., followed by Option 3, develop 40 Platoff Street with a one-and-a-half storey addition with a flat roof and vertical exterior cladding.

Notwithstanding that Option 1 is preferred, it is acknowledged that Option 1 would not allow for any redevelopment of the subject property,

Although Option 2 would involve direct impacts to the heritage attributes of the property at 40 Platoff Street, the construction method has been configured in a way that minimizes impacts to the brick wall on the rear elevation. Through the addition's sympathetic design concept arrived at through iterative consultation with the Client, and the building elevation refinement, the proposed design of the addition is more in keeping with the surrounding residential structures.

The proposed addition will not result in direct impacts to the heritage attributes of the adjacent heritage resources, the Town of Niagara-on-the-Lake National Historic Site, the Queen-Picton HCD or the Historic Old Town HCD.

To successfully facilitate Option 2, the MCM's *Heritage Resources in Land Use Planning Process* design guidelines should be consulted. These guidelines aim to harmonize mass, setback, setting and materials is a mitigation measure to reduce impacts to cultural heritage resources. The design of the building immediately surrounding the historic structure should be sensitively designed to reflect a similar massing, height, and materials.

Prior to construction activities, a Tree Inventory and Assessment report, prepared by an ISA Certified Arborist, should be prepared for the subject property. The plan should provide an assessment of applicable policy, methods and results of the tree inventory completed for the subject property. The plan should also outline the trees within the subject property that will be retained or require removal. The Tree Preservation Plan should provide recommendations on replacement tree species as well as planting locations.

Given the proximity of the adjacent heritage properties to the proposed limits of construction, a comprehensive pre-construction survey should be completed and a Zone of Influence Construction Vibration Study undertaken to monitor and mitigate vibration impacts during construction. Care should be taken not to compromise the existing foundation during excavations for the new footing and foundation.

A Construction Hoarding Plan should be prepared detailing where temporary construction fencing should be erected to buffer resource on the subject property from the construction area. Fencing should be erected at a sufficient distance to ensure that there will be no direct or indirect impacts to the built heritage resources or landscape features from construction activities or equipment.

Indirect impacts to the character of the Town of Niagara-on-the-Lake National Historic Site of Canada, the Queen-Picton HCD and the Historic Old Town HCD can be mitigated in part by ensuring the development is

sympathetic in design concept by incorporating simple elevations and massing providing a transition in height to the neighbouring buildings, and the incorporation of building materials reflective of the surrounding building stock. This approach finds support in Section 5.2 of the Historic Old Town Heritage Conservation District Plan. Section 5.2 (a) states that alterations to significant properties shall conserve the heritage value and attributes of a heritage resource when constructing a new addition or any related new construction such as an accessory structure. The new work will be physically and visually compatible with, subordinate to, and distinguishable from the heritage resource.

The objective of the Historic Old Town HCD Plan is to ensure the long-term conservation of the cultural heritage resources and character of the historic Old Town of Niagara-on-the-Lake and to guide change so that it contributes to, and does not detract from, the District's cultural heritage value and context.

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## 10.3 IMPLEMENTATION AND MONITORING

While Option 1 is the preferred alternative, an Implementation and Monitoring Plans have been identified for Option 2 in Table 10-2 below. The purpose of this plan is to conserve cultural heritage resources as the development is undertaken. The requirement for these heritage mitigation measures may be incorporated by the Town of Niagara-on-the-Lake into the development application decision as a condition prior to the issuance of a Building Permit or during the development application process.

**Table 10-2: Short-term, medium-term and long-term actions for Option 2**

CONSTRUCTION PHASE	MITIGATION MEASURES	DEVELOPMENT APPLICATION CONDITIONS
<b>Pre-Construction</b>	In accordance with the MCM's Heritage <i>Resources in Land Use Planning Process</i> design guidelines that harmonize mass, setback, setting and materials is a mitigation measure to reduce impacts to cultural heritage resources.	✓
	Prepare a Tree Inventory and Assessment report for the subject property. The plan should provide an assessment of applicable policy, methods and results of the tree inventory completed for the subject property. The plan should also outline the trees within the subject property that will be retained or require removal. The Tree Preservation Plan should provide recommendations on replacement tree species as well as planting location.	✓
	A comprehensive pre-construction survey should be completed followed by a Zone of Influence Construction Vibration Study to identify the vibration zone of influence for 30 Platoff Street, 40 Platoff Street and 263 Davy Street.	✓
<b>Construction</b>	Establish a plan to avoid impact to the resources during construction including a buffer around the Neo-Classical structure with a silt fence and appropriate location of staging and construction materials and equipment.	✓
<b>Post-Construction</b>	n/a	n/a

# 11 RECOMMENDATIONS

Based on the results of the historical research, field review, site analysis and evaluation of the subject property against the criteria for heritage designation under O. Reg. 9/06 of the OHA, 40 Platoff Street was confirmed to possess CHVI.

The proposed development includes the construction a two-storey residential addition on the rear elevation of the existing structure at 40 Platoff Street. The proposed addition was evaluated and determined to pose moderate impacts to the identified heritage attributes of 40 Platoff Street Based on the review of the alternatives, mitigation and conservation options analysis, Option 1, Do Nothing, is the preferred option from a cultural heritage perspective. However, a Do No Nothing approach would allow for the addition on the rear of the structure.

As such, Options 2 and Option 3 are the next preferred options.

The following conservation/mitigation strategies are recommended:

1. Prior to the construction of the new foundation and footing, the existing structure should be assessed pre-construction to document the physical condition, noting any pre-existing deficiencies, and structural integrity of the building to inform thresholds for vibration impacts and land excavation in proximity to the foundation. Care should be taken not to compromise the existing foundation during excavations for the new footing and foundation.
2. Given the proximity of the 30 Platoff Street and 263 Davy Street to the proposed construction area, a comprehensive pre-construction survey should be completed and a Zone of Influence Construction Vibration Study to monitor and mitigate vibration impacts during construction.
3. Prepare a Tree Inventory and Assessment report for the subject property. The plan should provide an assessment of applicable policy, methods and results of the tree inventory completed for the subject property. The plan should also outline the trees within the subject property that will be retained or require removal. The Tree Preservation Plan should provide recommendations on replacement tree species as well as planting location.
4. Establish a plan to avoid impact to the resources during construction including a buffer around the Neo-Classical structure with a silt fence and appropriate location of staging and construction materials and equipment.
5. Prior to the construction of the proposed addition, the rear elevation should be subject to a scoped Cultural Heritage Resources Documentation Report (CHRDR) to photographically document the names of former students that have been carved into the brick. The CHRDR should be submitted to the Niagara-on-the-Lake Museum.
6. Contract documentation should include information regarding the CHVI of the aforementioned properties, specifically the List of Heritage Attributes.
7. Should development plans change significantly in scope or design after approval of this CHIA, additional cultural heritage investigations may be required.
8. Once finalized, a copy of this CHIA should be distributed to the Town of Niagara-on-the-Lake Public Library.



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# APPENDIX

## A HISTORICAL MAPPING

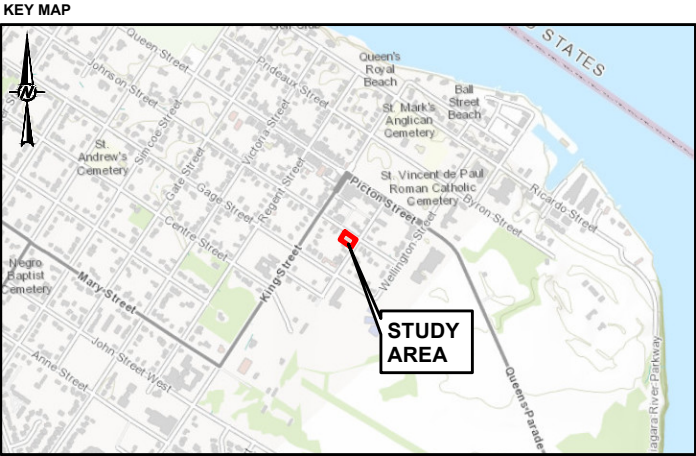








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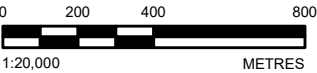


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LEGEND

STUDY AREA

DRAFT



NOTE(S)

1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)

1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO  
2. IMAGERY CREDITS: SOURCES: ESRI, HERE, GARMIN, INTERMAP, INCREMENT P CORP., GEBCO, USGS, FAO, NPS, NRCAN, GEOBASE, IGN, KADASTER NL, ORDNANCE SURVEY, ESRI JAPAN, METI, ESRI CHINA (HONG KONG), (C) OPENSTREETMAP CONTRIBUTORS, AND THE GIS USER COMMUNITY  
MAP, DATA & GIS LIBRARY, BROCK UNIVERSITY.

CLIENT

PETE HILL AND CARRIE CHAN

PROJECT

HERITAGE IMPACT ASSESSMENT: 40 PLATTOFF STREET,  
NIAGARA-ON-THE-LAKE

TITLE

1862 TREMAINE'S MAP OF THE COUNTIES OF LINCOLN AND  
WELLAND

CONSULTANT



YYYY-MM-DD	2023-03-23
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REVIEWED	----
APPROVED	----

PROJECT NO.  
231-01207-00

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## KEY MAP



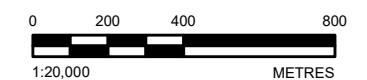
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## LEGEND



## STUDY AREA

**DRAFT**



**NOTE(S)**

1. ALL LOCATIONS ARE APPROXIMATE

## REFERENCE(S)

1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO  
2. IMAGERY CREDITS: SOURCES: ESRI, HERE, GARMIN, INTERMAP, INCREMENT P CORP.,  
GEOBCO, USGS, FAO, NPS, NRCAN, GEOBASE, IGN, KADASTER NL, ORDNANCE SURVEY, ESRI  
JAPAN, METI, ESRI CHINA (HONG KONG), (C) OPENSTREETMAP CONTRIBUTORS, AND THE GIS  
USER COMMUNITY  
3. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT

PETE HILL AND CARRIE CHAN

## PROJECT

HERITAGE IMPACT ASSESSMENT: 40 PLATOFF STREET,  
NIAGARA-ON-THE-LAKE

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**1876 ILLUSTRATED HISTORICAL ATLAS OF THE COUNTIES OF  
LINCOLN AND WELAND, NIAGARA TOWNSHIP**

CONSULTANT

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REVIEWED

APPROVED \_\_\_\_\_

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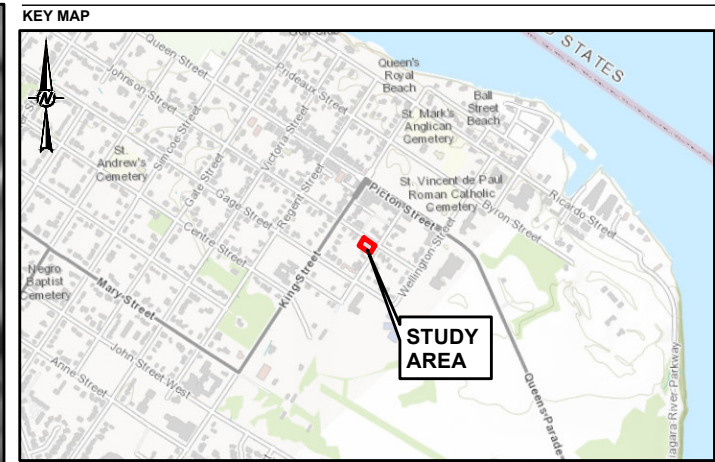
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FIGURE 5



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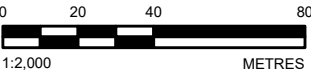


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**LEGEND**

STUDY AREA

**DRAFT**



**NOTE(S)**  
1. ALL LOCATIONS ARE APPROXIMATE

**REFERENCE(S)**  
1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO  
2. IMAGERY CREDITS: SOURCES: ESRI, HERE, GARMIN, INTERMAP, INCREMENT P CORP., GEBCO, USGS, FAO, NPS, NRCAN, GEOBASE, IGN, KADASTER NL, ORDNANCE SURVEY, ESRI JAPAN, METI, ESRI CHINA (HONG KONG), (C) OPENSTREETMAP CONTRIBUTORS, AND THE GIS USER COMMUNITY  
3. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT  
**PETE HILL AND CARRIE CHAN**

PROJECT  
**HERITAGE IMPACT ASSESSMENT: 40 PLATOFF STREET, NIAGARA-ON-THE-LAKE**

TITLE  
**STUDY AREA ON A 1954 AERIAL PHOTOGRAPH**

	CONSULTANT	YYYY-MM-DD	2023-03-23
	DESIGNED	EG	
	PREPARED	BR	
	REVIEWED	----	
	APPROVED	----	

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KEY MAP

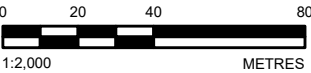


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LEGEND

 STUDY AREA

**DRAFT**



NOTE(S)

1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)

1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO  
2. IMAGERY CREDITS: SOURCES: ESRI, HERE, GARMIN, INTERMAP, INCREMENT P CORP., GEBCO, USGS, FAO, NPS, NRCAN, GEOBASE, IGN, KADASTER NL, ORDNANCE SURVEY, ESRI JAPAN, METI, ESRI CHINA (HONG KONG), (C) OPENSTREETMAP CONTRIBUTORS, AND THE GIS USER COMMUNITY  
MINISTRY OF NATURAL RESOURCES

CLIENT

PETE HILL AND CARRIE CHAN

PROJECT

HERITAGE IMPACT ASSESSMENT: 40 PLATTOFF STREET,  
NIAGARA-ON-THE-LAKE

TITLE

STUDY AREA ON A 1968 AERIAL PHOTOGRAPH

CONSULTANT



YYYY-MM-DD 2023-03-23

DESIGNED EG

PREPARED BR

REVIEWED ----

APPROVED ----

PROJECT NO.  
231-01207-00

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FIGURE  
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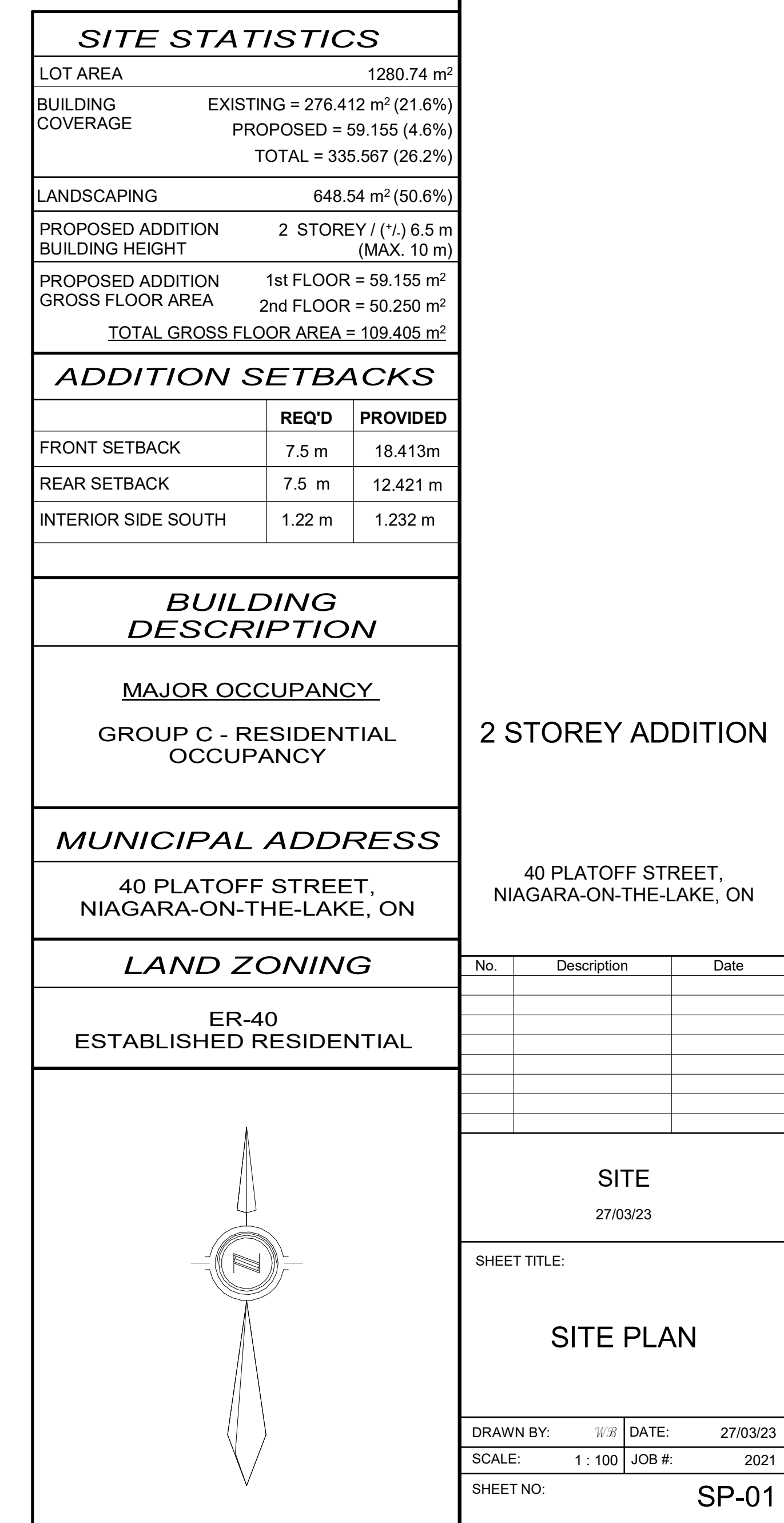


# APPENDIX

## **B** CONCEPT AND SITE PLANS: OPTION 2 (MARCH 2023)



**CERTIFICATE OF PRACTICE : # 4053**







3D View  
M



NORTH ELEVATION  
M 1:100



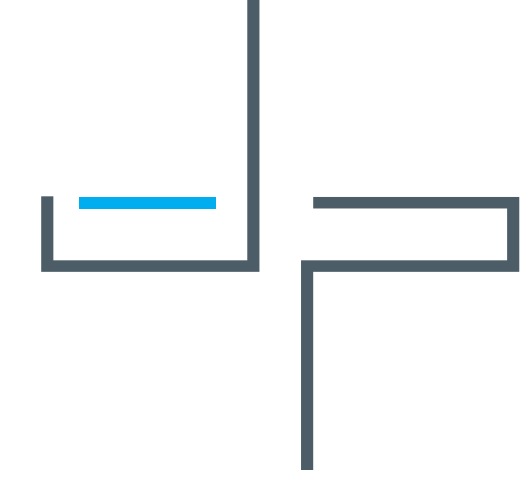
EAST ELEVATION  
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SOUTH ELEVATION  
M 1:100



WEST ELEVATION  
M 1:100



JASON PIZZICARELLA DESIGN - ARCHITECTS INC.  
209 RIDGE ROAD N  
RIDGEWAY, ONTARIO, L0S 1N0  
T. 905-894-8300  
e-mail: jpizzicarella@jpdesign.ca

CERTIFICATE OF PRACTICE : # 4053

2 STOREY ADDITION

40 PLATOFF STREET,  
NIAGARA-ON-THE-LAKE, ON

No.	Description	Date

CONCEPT

30/03/23

SHEET TITLE:

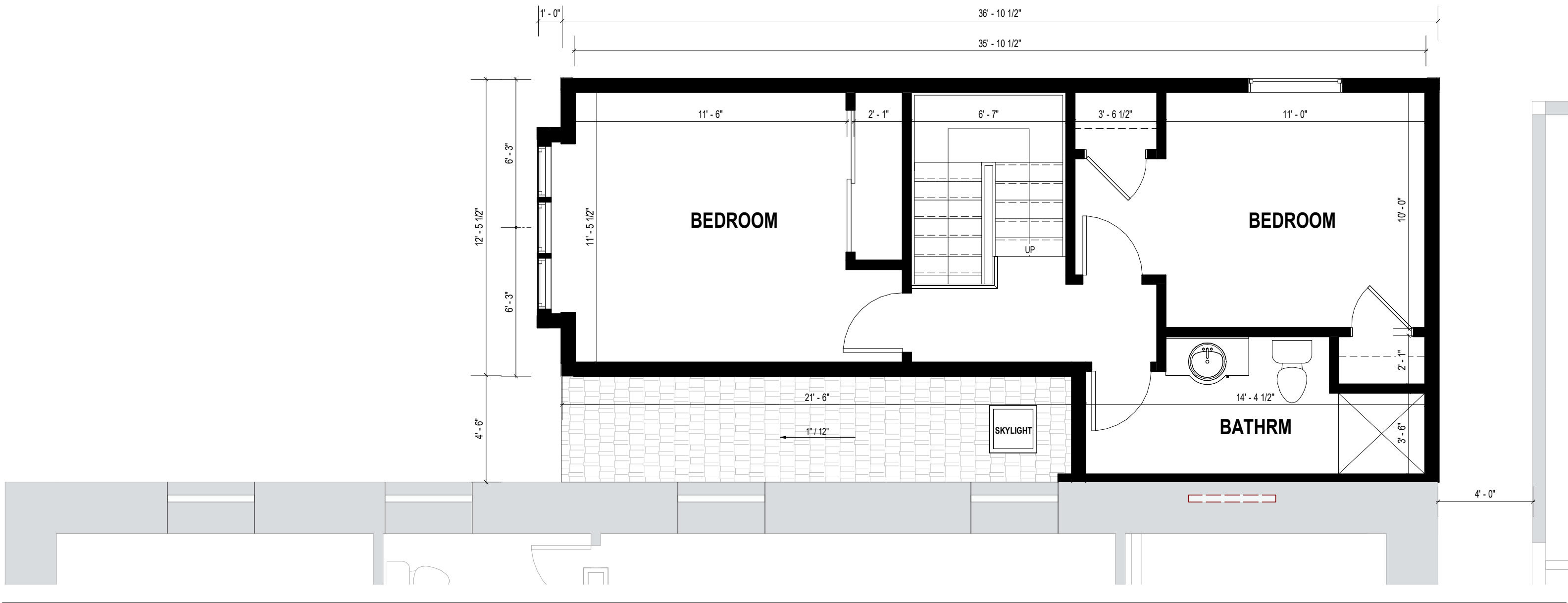
ELEVATIONS

DRAWN BY: JP DATE: 30/03/23

SCALE: 1:100 JOB #: 21064

SHEET NO: A-02

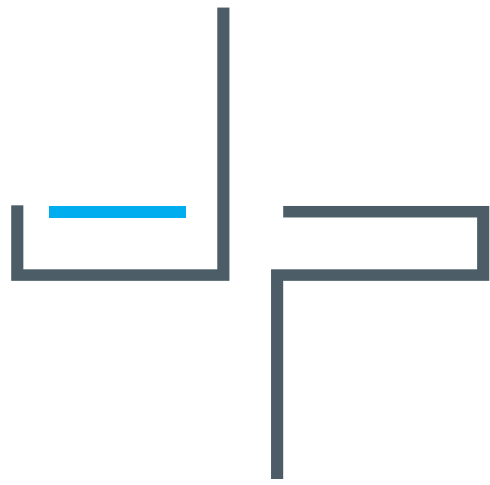




PROPOSED 2nd LEVEL  
M 1/4" = 1'-0"



PROPOSED LEVEL 1  
M 1/4" = 1'-0"



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CERTIFICATE OF PRACTICE : # 4053

2 STOREY ADDITION

40 PLATOFF STREET,  
NIAGARA-ON-THE-LAKE, ON


No.	Description	Date

CONCEPT

30/03/23

SHEET TITLE:

FLOOR PLANS

DRAWN BY:  DATE: 30/03/23

SCALE: 1/4" = 1'-0" JOB #: 2021

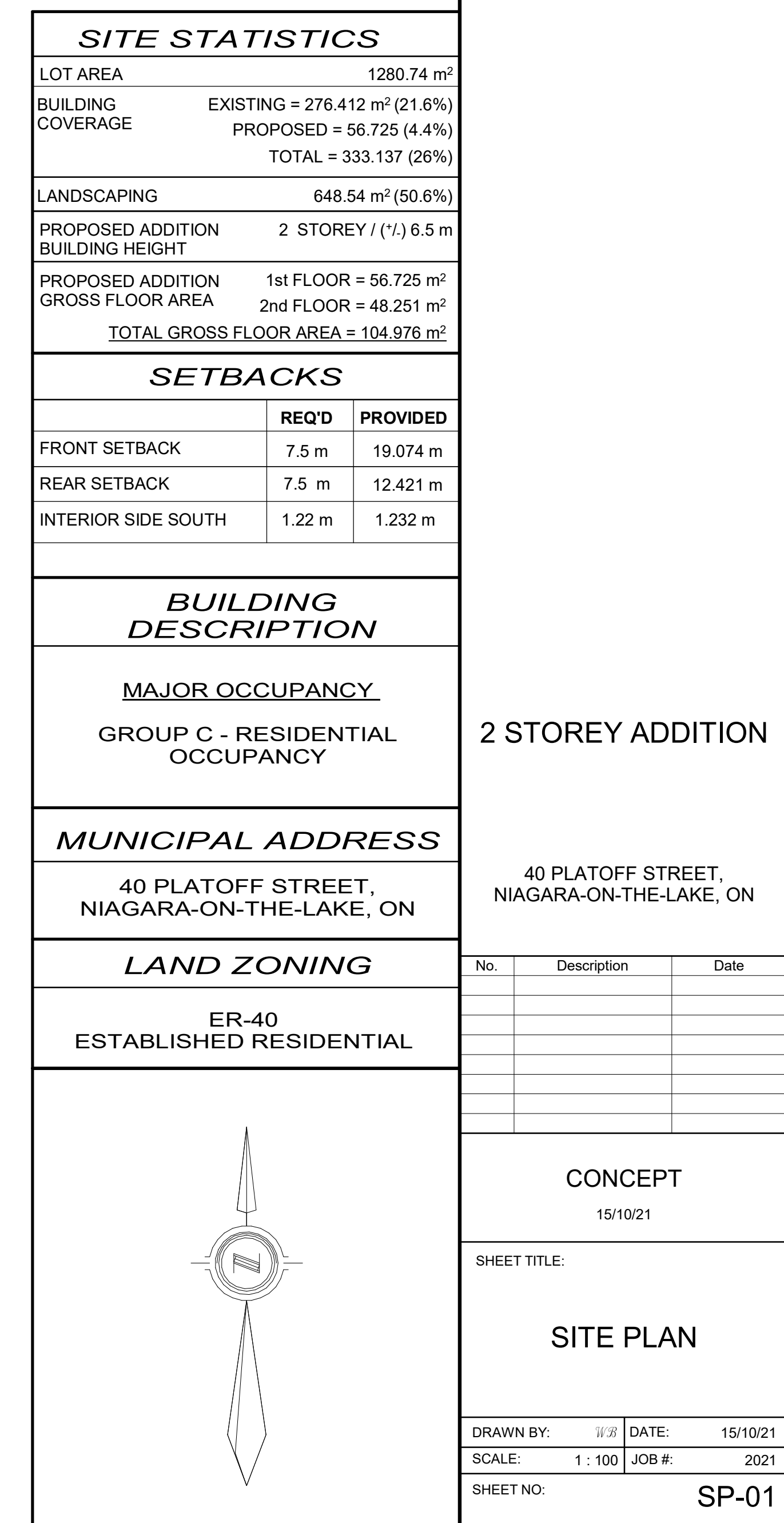
SHEET NO: A-01

# APPENDIX

## C CONCEPT AND SITE PLANS: OPTION 3 (OCTOBER 2021)



**CERTIFICATE OF PRACTICE : # 4053**







3D View  
M



NORTH ELEVATION  
M 1:100



EAST ELEVATION  
M 1:100



SOUTH ELEVATION  
M 1:100



WEST ELEVATION  
M 1:100



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e-mail jppizzicarella@jpdesign.ca  
CERTIFICATE OF PRACTICE : # 4053

## 2 STOREY ADDITION

40 PLATOFF STREET,  
NIAGARA-ON-THE-LAKE, ON

No.	Description	Date

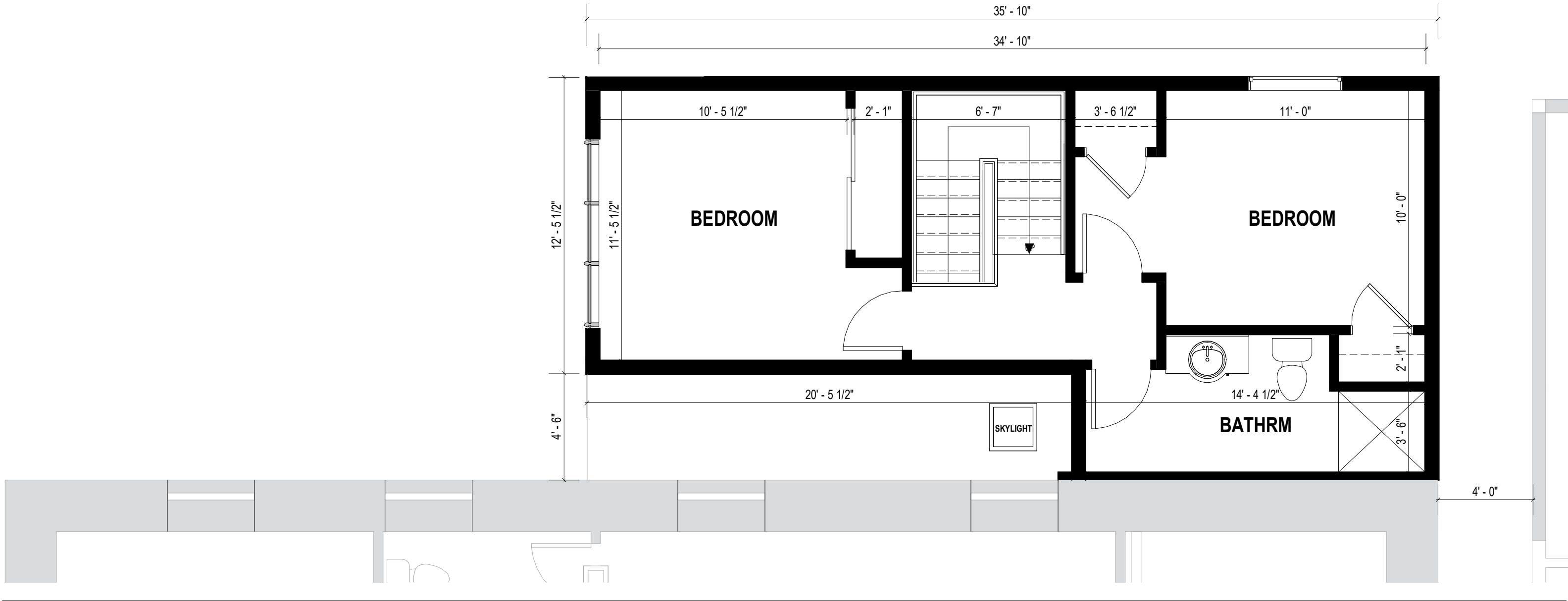
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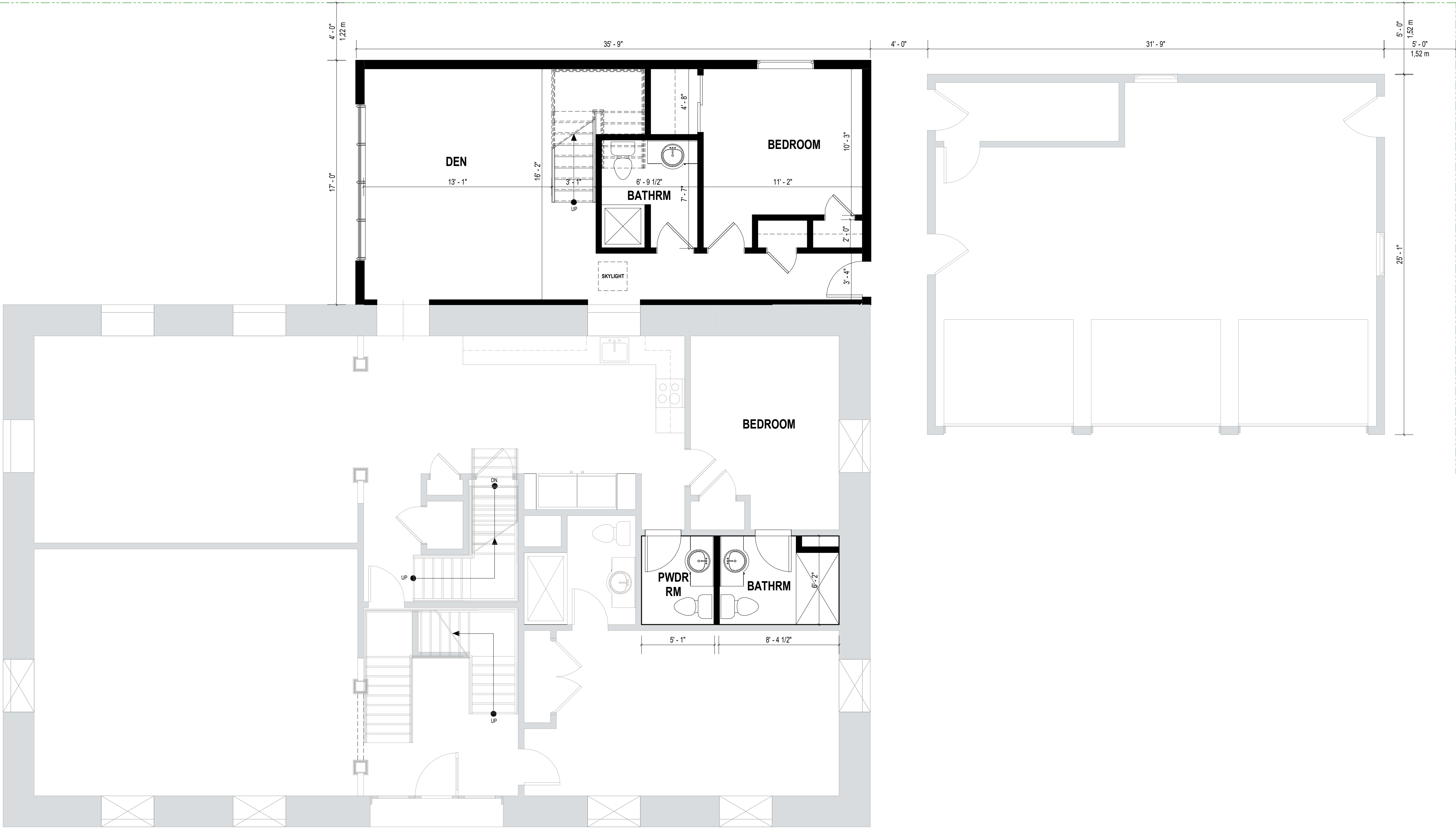
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PROPOSED 2nd LEVEL  
M 1/4" = 1'-0"



PROPOSED LEVEL 1  
M 1/4" = 1'-0"



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209 RIDGE ROAD N  
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e-mail: jpizzicarella@jpdesign.ca  
CERTIFICATE OF PRACTICE : # 4053

2 STOREY ADDITION

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NIAGARA-ON-THE-LAKE, ON

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07/10/21

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CONCEPT

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SCALE: 1/4" = 1'-0" JOB #: 2021  
SHEET NO: A-01

# APPENDIX

## D DESIGNATION

BY-LAW: 40

PLATOFF

STREET



An agency of the Government of Ontario



Un organisme du gouvernement de l'Ontario

This document was retrieved from the Ontario Heritage Act e-Register, which is accessible through the website of the Ontario Heritage Trust at **[www.heritagetrust.on.ca](http://www.heritagetrust.on.ca)**.

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Ce document est tiré du registre électronique, tenu aux fins de la *Loi sur le patrimoine de l'Ontario*, accessible à partir du site Web de la Fiducie du patrimoine ontarien sur **[www.heritagetrust.on.ca](http://www.heritagetrust.on.ca)**.

*File*

**Department of Planning  
& Development Services**

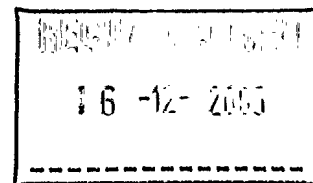
TELEPHONE 905-468-3266  
FACSIMILE 905-468-0301



**The Town of  
Niagara-On-The-Lake**

*Niagara Region*

1593 FOUR MILE CREEK ROAD  
P.O. Box 100  
VIRGIL, ONTARIO  
L0S 1T0



December 13, 2005

The Ontario Heritage Trust  
10 Adelaide Street East  
Toronto, Ontario  
M5C 1J3

**REGISTERED MAIL**

**RE: 40 Platoff Street, The Niagara Public School  
Notice of Passing of By-law No.3996-05  
Ontario Heritage Act, Part IV**

---

Pursuant to the provisions of Section 29(6) (a) (ii) of the Ontario Heritage Act,  
R.S.O. 1990, Chapter 0.18, please find enclosed a copy of:

By-law No.3996-05, being a by-law to designate 40 Platoff Street.

Sincerely yours



Holly Dowd  
Town Clerk

Enc.

*Jan 16/06*  
*RC*



THE CORPORATION  
OF THE  
TOWN OF NIAGARA-ON-THE-LAKE

**BY-LAW NO. 3996-05**  
(40 Platoff Street, Roll No. 2627-010-12800-0050)

A BY-LAW TO DESIGNATE THE PROPERTY KNOWN  
MUNICIPALLY AS THE NIAGARA PUBLIC SCHOOL, 40  
PLATOFF STREET IN THE TOWN OF NIAGARA-ON-THE-LAKE,  
IN THE PROVINCE OF ONTARIO, AS BEING OF CULTURAL  
HERITAGE VALUE OR INTEREST.

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1990, Chapter 0.18, authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of cultural heritage value or interest; and

WHEREAS the Council of the Corporation of the Town of Niagara-on-the Lake has caused to be served on the owner of the lands and premises known as the Niagara Public School at 40 Platoff Street, in the Town of Niagara-on-the-Lake in the Province of Ontario and upon the Ontario Heritage Trust, notice of intention to so designate the aforesaid real property and has caused such notice of intention to be published in a newspaper having general circulation in the municipality; and

WHEREAS the reasons for designation are set out in Schedule 'B' hereto; and  
WHEREAS no notice of objection to the proposed designation has been served on the clerk of the municipality.

THEREFORE the Council of the Corporation of the Town of Niagara-on-the-Lake enacts as follows:

1. There is designated as being of cultural heritage value or interest the real property known as the Niagara Public School at 40 Platoff Street in the Town of Niagara-on-the-Lake in the Province of Ontario, more particularly described in Schedule 'A' hereto.
2. The municipal solicitor is hereby authorized to cause a copy of this By-law to be registered against the property described in Schedule 'A' hereto.
3. The Clerk is hereby authorized to cause copy of this By-law to be served on the owners of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this By-law to be published in a newspaper having general circulation.

READ A FIRST, SECOND AND THIRD TIME AND PASSED ON THIS 28<sup>TH</sup>  
DAY OF NOVEMBER 2005

  
LORD MAYOR GARY BURROUGHS

  
TOWN CLERK HOLLY DOWD

**SCHEDULE "A"**

**DESIGNATION BY-LAW – 40 PLATOFF STREET**

**Part Block 39, Township Plan 86, Niagara as in RO526661; Niagara-on-the-Lake,**

**PIN #46405-0059 (LT)**

## SCHEDULE 'B'

### REASONS FOR DESIGNATION

#### The Niagara Public School, 1859 – Part Block 39, Plan 86, Niagara-on-the-Lake

The Niagara Public School is recommended for designation under Part IV of the Ontario Heritage Act for its cultural heritage value or interest.

Along with the Niagara High School to the south on Castlereagh Street and the washroom and Junior school building on Davy Street, the Niagara Public School represents a significant intact historical record of the origin and development of public educational institutions in the Town of Niagara from their inception in 1856, when James Crooks ensured that the land would be used for educational purposes and endowed four scholarships for that purpose, until the construction of Parliament Oak School at the end of the Second World War. During that period, the Public School and the High School were associated with a number of important citizens of Niagara including James Crooks, who sold the land to the Town, John Thornton, master mason who constructed the building and Janet Carnochan who taught there and was instrumental in recording and preserving Niagara's history.

Architecturally the building is a refined and sophisticated example of Neo-classical institutional construction built by master mason John Thornton. His abilities as a mason are evident in the decorative dichromatic brickwork, including the denticulated window surrounds, quoins, string course and massive stone lintels and sills.

The building constitutes an unusual design for a small scale public school building of the 19<sup>th</sup> century. The entryway, with its grand semicircular fanlight filled with delicate tracery, stone arch and decorative brickwork is a striking feature that is rare in smaller public education buildings of this period, which commonly had separate modestly scaled entrances for boys and girls. Most of these buildings were oriented with entrances at the gable ends and many were constructed in the Gothic Revival style, which reflected religious and institutional architecture of the period. In contrast, the Niagara Public School reflects the Neo-classical building tradition of Old Town Niagara with its symmetrical building façade, generous window openings, semicircular fanlight and restrained details.

#### Site

The property is on the southwest corner of Platoff and Davy Streets. The building is situated on a relatively flat lot of approximately .35 acres.

#### Historical Background

The block on which the Niagara Public School stands was part of the land granted by the Crown to James Crooks in 1823, in exchange for the land he owned on the Mississagua Reserve.

In 1854, James Crooks, who was by then living in Flamborough, sold part of the block (2 acres more or less) to the Town Council of Niagara. There were conditions attached to the sale of the property. The first required that the property was to be "for uses of Common Schools and Grammar Schools in the Town of Niagara forever". The second required that four scholars be named "each and every year ... in perpetuity". Two of the scholars were to be educated at the Common School and two at the Grammar School. These scholarships were to be called the Crooks endowment and their expense was to be borne by "the Town Council, their successors, or any of those other persons in whom the title to the lands is vested".



## Page 2 – Schedule "B"

The Town made no plans to build a new school for two years. In 1856, however, perhaps motivated by the ending of the Crimean War and by comments made by the editor of the Niagara Mail about the need for a school, the school board signed a contract for building a brick school house with master mason John Thornton. Although John Thornton subcontracted the slating of the roof as early as 1857, Janet Carnochan stated that the new school did not open until 1859. Miss Carnochan was hired as a teacher in 1857 and her father, a carpenter, received regular payments for work on the school in 1858. Her assertion that the school opened in 1859 is certainly accurate, therefore.

The school was formally opened and received its first students in the school year 1859-60. It was the first public or common school in Town. When it opened it had four rooms, two on each floor. Only three were used as classrooms until c.1880, when the fourth room was converted from the principal's office to a classroom.

In 1875, the Town built a Grammar School on the lot originally donated by James Crooks at the southwest corner of Davy and Castlereagh Streets. The land between the two schools remained vacant until c.1910 when John Carnochan built two cottages on the property. The one immediately west of the school was used as school washrooms and the one next to it was sold to the Public School Board in 1919 for use as a junior schoolroom or kindergarten. All of these institutional buildings, stretching from Platoff Street to Castlereagh Street along Davy Street, are extant. The Grammar School now forms part of the Niagara Historical Society Museum building and is designated under Part IV of the Ontario Heritage Act.

By 1943 more classroom space was required, partly as a result of the enrolment of the children of soldiers stationed in the Town. From 1943 until 1945, St. Mark's Parish Hall became the school's sixth classroom. In January 1945, the Board confirmed plans for a new building and the cornerstone was laid in 1947. Two weeks before Parliament Oak School was opened, in September 1948, an advertisement soliciting tenders for the old public school and its auxiliary buildings appeared in the *Niagara Advance*. The school building was sold to Fred Beattie who converted it into apartments. The washroom building and junior building were converted to residences at that time.

The school was used as an apartment building until it was purchased in 2003 and converted to a single residential use. Most recently, approval was granted for a six room Country Inn.

### ✓ Architectural Description

The Niagara Public School is a two storey 5 bay building of symmetrical design constructed of polychrome brick in a simple Neo-classical style. The massive red brick walls are relieved by decorative elements including yellow brick quoins and a yellow brick string course which demarcates the first and second floors of the structure. The windows openings, which until recently contained large 6 over 6 double hung windows, are decorated with denticulated surrounds of yellow brick and have large cut stone sills and slightly pointed stone lintels. The exterior of the foundation is finished with yellow brick.

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One of the most elaborate and distinctive features on the front façade is the entrance with its semicircular fanlight, which was restored in 2002-2003 after being hidden behind a wooden panel for many years. The fanlight is surrounded by a massive cut stone semicircular lintel with a central projecting keystone. The door surround is decorated with denticulated yellow brickwork similar to that surrounding the windows. The original 6 panel double entrance doors and three pane sidelights have recently been replaced. However, old photographs illustrating these doors could be used to design appropriate replacements. The original brick end chimneys have also been removed.

The interior has been the subject of a number of alterations and renovations since its conversion from a school to apartment units, a residence and a country inn. Little original interior detail remains.

**Designation**

This designation applies to the lands and more particularly to the entire exterior of the dwelling including the decorative brickwork, stone lintels and sills and fanlight.